

**BOROUGH OF SHIP BOTTOM**

GATEWAY TO LONG BEACH ISLAND

1621 Long Beach Boulevard

Ship Bottom, Ocean County, N.J. 08008

(609) 494-2171 or 2172 Fax (609) 361-8484

**LAND USE DEVELOPMENT APPLICATION**

-TO BE COMPLETED BY BOROUGH STAFF ONLY-

Date Filed _____	Docket No. <u>2024:13</u>
Application Fees _____	Escrow Deposit _____
Scheduled for: Review for Completeness _____	Hearing _____

**1. SUBJECT PROPERTY – TO BE COMPLETED BY APPLICANT**

Location: 1713 BAY TERRACE

Tax Map:	Page <u>Sheet #12</u>	Block <u>61</u>	Lot(s) <u>3.01</u>
	Page _____	Block _____	Lot(s) _____
Dimensions:	Frontage <u>40 ft.</u>	Depth <u>176.98 ft.</u>	Total Area <u>3,598.3 ft.</u>

Zoning District: R=2 Zone

**2. APPLICANT**

Name: MARC R. FRIEDANT AND SANJA J. FRIEDAMT

Address: 1427 Monterey Boulevard, Hermosa Beach, California, 90254

Telephone No.: Home: \_\_\_\_\_ Local: 609-707-1431

Work: \_\_\_\_\_ Fax: Email: mfriedant@gmail.com

Applicant is a: Corporation \_\_\_\_\_ Partnership \_\_\_\_\_ Individual xx

Other (Please Specify) \_\_\_\_\_

**3. DISCLOSURE STATEMENT**

Pursuant to N.J.S.A. 40:55D-48.1, the names and address of all persons owning 10% of the stock in a corporate applicant or 10% interest in any partnership applicant must be disclosed. In accordance with N.J.S.A. 40:55D-48.2, that disclosure requirement applies to any corporation or partnership which owns more than 10% interest in the applicant followed up the chain of ownership until the names and addresses of the non-corporate stockholders and partners exceeding the 10% ownership criterion have been disclosed (attach pages as necessary to fully comply).

NOT APPLICABLE

Name \_\_\_\_\_ Address \_\_\_\_\_ Interest \_\_\_\_\_

Name \_\_\_\_\_ Address \_\_\_\_\_ Interest \_\_\_\_\_

**4. If Owner(s) is other than the applicant, provide the following information on the owner(s):**

NOT APPLICABLE

Owner's Name \_\_\_\_\_

Address \_\_\_\_\_

Telephone No. Home: \_\_\_\_\_ Work: \_\_\_\_\_ Local: \_\_\_\_\_

Relationship of the applicant to the property in question:

Owner \_\_\_\_\_ Lessee \_\_\_\_\_ Purchaser Under Contract \_\_\_\_\_ Other \_\_\_\_\_

**5. PROPERTY INFORMATION**

Deed restrictions, covenants, easements, rights of way, association bylaws or other dedication existing or proposed on the property:

Yes (Attach copies) \_\_\_\_\_ No. **XX** \_\_\_\_\_ Proposed \_\_\_\_\_

**Note:** All deed restrictions covenants, easement, rights of way association bylaws, or other dedications existing and proposed must be submitted for review.

**Site Plan and/or conditional use applicants:**

Proposal for: New structure **XX** \_\_\_\_\_ Expanded area \_\_\_\_\_ Alteration \_\_\_\_\_

Expansion of structure \_\_\_\_\_ Change of Use \_\_\_\_\_ Sign \_\_\_\_\_

Other (Please specify) \_\_\_\_\_

**Has this property been the subject of any prior application(s) to the Planning Board or Zoning Board of Adjustment?** Yes \_\_\_\_\_ No **xx** \_\_\_\_\_ If so, please attach the date(s), the relief sought, the disposition of the case and a copy of the resolution(s).

**Is the subject property located on:**

A county road: Yes \_\_\_\_\_ No **XX** \_\_\_\_\_; A State road: Yes \_\_\_\_\_ No **XX** \_\_\_\_\_;

Within 200 feet of a municipal boundary: Yes \_\_\_\_\_ No **xx** \_\_\_\_\_

**Present use of the premises:** \_\_\_\_\_

Single Family Residence

6. **Applicant's Attorney** RICHARD P. VISOTCKY of KELLY & VISOTCKY, ESQ.

Address 149 East Bay Avenue, P.O. Box 536, Manahawkin, New Jersey 08050

Telephone No. 609-597-7200 ~~Fax No.~~ Email: kvlaw@kvlawfirm.com

7. **Applicant's Engineer** James D. Brzozowski, PE, PP of Horn, Tyson & Yoder, Inc.

Address 8510 Long Beach Boulevard, Long Beach Township, New Jersey 08008

Telephone No. 609-492-5050 ~~Fax No.~~ Email: jim.b.hty@gmail.com

8. **Applicant's Planning Consultant** James D. Brzozowski, PE, PP of Horn, Tyson & Yoder, Inc.

Address 8510 Long Beach Boulevard, Long Beach Township, New Jersey 08008

Telephone No. 609-492-5050 ~~Fax No.~~ jim.b.hty@gmail.com

9. **Applicant's Architect** Nielson Architecture

Address 52 Littleworth Mill Road, Manahawkin, New Jersey 08050

Telephone No. 609-597-0917 ~~Fax No.~~ eric@nielson-architecture.com

10. **List any other Expert who will submit a report or who will testify for the Applicant:** (Attach additional sheets as may be necessary)

Name \_\_\_\_\_

Field of Expertise \_\_\_\_\_

Address \_\_\_\_\_

Telephone No. \_\_\_\_\_ Fax No. \_\_\_\_\_

**11. APPLICATION REPRESENTS A REQUEST FOR THE FOLLOWING:**

**SUBDIVISION:**

- \_\_\_\_\_ Minor subdivision Approval
- \_\_\_\_\_ Subdivision Approval (Preliminary)
- \_\_\_\_\_ Subdivision Approval (Final)

Number of lots to be created \_\_\_\_\_ Number of proposed dwelling units \_\_\_\_\_ (If applicable)

Area and dimensions of each proposed lot \_\_\_\_\_

**SITE PLAN:**

- \_\_\_\_\_ Minor Site Plan Approval
- \_\_\_\_\_ Preliminary Site Plan Approval [Phases (if applicable) \_\_\_\_\_]
- \_\_\_\_\_ Final Site Plan Approval [Phases (if applicable) \_\_\_\_\_]
- \_\_\_\_\_ Amendment or Revision to an Approved Site Plan Area to be disturbed (square feet)

Total number of proposed dwelling units \_\_\_\_\_

\_\_\_\_\_ Request for Waiver from Site Plan Review and Approval

Reason for request: \_\_\_\_\_

- \_\_\_\_\_ Informal Review
- \_\_\_\_\_ Appeal decision of an Administrative Officer [N.J.S.A. 40:55D-70a]
- \_\_\_\_\_ Map or Ordinance Interpretation or Special Question [N.J.S.A. 40:55D-70b]
- XX** \_\_\_\_\_ Variance Relief (hardship) [N.J.S.A. 40:55D-70c(1)]
- XX** \_\_\_\_\_ Variance Relief (substantial benefit) [N.J.S.A. 40:55D-70c(2)]
- \_\_\_\_\_ Variance Relief (use) [N.J.S.A. 40:55D-70d]
- \_\_\_\_\_ Conditional Use Approval [N.J.S.A. 40:55D-67]
- \_\_\_\_\_ Direct issuance of a permit for a structure in bed of a mapped street, public drainage way, or flood control basin [N.J.S.A. 40:55D-34]
- \_\_\_\_\_ Direct issuance of a permit for a lot lacking street frontage [N.J.S.A. 40:55D-35]

**12. Section(s) of Ordinance from which a variance is requested:**

Lot area - 16.28.010.D; Lot depth - 16.28.010D

**13. Waivers Requested of Development Standards and/or Submission Requirements: [attach additional pages as needed]**

**14. Attach a copy of the proposed Notice to appear in the official newspaper of the municipality and to be mailed to the owners of all real property, as shown on the current tax duplicate, located within the State and within 200 feet in all directions of the property which is the subject of this application.**

**\*The Notice must specify the sections of the Ordinance from which relief is sought, if applicable.**

**\*The publication and the service on the affected owners must be accomplished at least 10 days prior to the date scheduled by the Administrative Officer for the hearing.**

**\*An affidavit of service on all property owners and a proof of publication must be filed before the application will be complete and hearing can proceed.**

- 15. Explain in detail the exact nature of the application and the changes to be made at the premises, including the proposed use of the premises: [attach pages as needed]**

Applicants propose to demolish the existing single family residence on the property and construct a new single family residence which will meet all other zoning ordinances, except existing lot area, having proposed 3,598.3 sq. ft., existing, (4,000 sq. ft. required) and lot depth, having proposed 90 ft., existing, (100 ft. required). By virtue of the new Application, Applicants will remove the non-conforming front yard setback and the non-conforming building coverage, which will bring both into compliance with the Ship Bottom Zoning requirements.

- 16. Is a public water line available?** XX
- 17. Is public sanitary sewer available?** XX
- 18. Does the application propose any lighting?** No
- 19. Have any proposed new lots been reviewed with the Tax Assessor to determine appropriate lot and block number?** NO
- 20. Are any off-tract improvements required or proposed?** No
- 21. Is the subdivision to be filed by Deed or Plat?** N/A
- 22. What form of security does the applicant propose to proved as performance and maintenance guarantees?** \_\_\_\_\_
- 23. Other approvals which may be required and date plans submitted:**

	Yes	No	Date Plans Submitted
_____ Ship Bottom Fire Prevention Bureau	_____	_____	_____
_____ Ship Bottom Water & Sewer Department	_____	_____	_____
_____ Ship Bottom Public Works Department	_____	_____	_____
_____ Long Beach Island Health Department	_____	_____	_____
_____ Ocean County Planning Board	_____	_____	_____
_____ Ocean County Soil Conservation District	_____	_____	_____
_____ NJ Dept. of Environmental Protection	_____	_____	_____
_____ Sanitary Sewer Connection Permit	_____	_____	_____
_____ Sewer Extension Permit	_____	_____	_____
_____ Waterfront Development Permit	_____	_____	_____
_____ Wetlands Permits	_____	_____	_____
_____ Tidal Wetlands Permit	_____	_____	_____
_____ FEMA	_____	_____	_____
_____ NJ Department of Transportation	_____	_____	_____
_____ Atlantic Electric	_____	_____	_____
_____ NJ Natural Gas	_____	_____	_____
_____ Other _____	_____	_____	_____

- 24. Certification from the Tax Collector that all taxes due on the subject property have been paid.**

25. List of Maps, Reports and other materials accompanying the application (attach additional pages as required for complete listing).  
 \*The documentation must be received by the Board Secretary at least twenty one [21] days prior to the meeting at which the application is to be considered, or as otherwise required in Section 16.80.010 of the Land Development Ordinance. A list of the professional consultants is attached to the application form.

Quantity	Description of Item
18	Engineer plans by Horn, Tyson Yoder
18	Architectural plans by Nielson Architecture
18	Pictures taken by Richard P. Visotcky, Esq.

26. The Applicant hereby requests that copies of the reports of the professional staff reviewing the application provided to the following of the applicant's professionals:  
 \*Specify which reports are requested for each of the applicant's professionals or whether all reports should be submitted to the professional listed.

xx	Applicant's Professional	Reports Requested
xx	Attorney	_____
xx	Engineer	_____
xx	Architect	_____

**CERTIFICATIONS**

27. I certify that the foregoing statements and the materials submitted are true, and waive all applicable time limits until the first public hearing of this application. I further certify that I am the individual applicant or that I am an Officer of the Corporate applicant and that I am authorized to sign the application for the Corporation or that I am a general partner of the partnership applicant. [If the applicant is a corporation this must be signed by an authorized corporate officer. If the applicant is a partnership, this must be signed by a general partner].

8/29/24  
 DATE SIGNATURE OF APPLICANT MARC R. FRIEDANT

8/29/24  
 DATE SIGNATURE OF OWNER SANJA J. FRIEDANT

28. I, the Developer/Applicant understand that a sum, to be determined by the Administrative Officer, will be deposited in an Escrow Account, in accordance with the Ordinances of the Borough of Ship Bottom. I further understand that the escrow account is established to cover the cost of professional services including engineering, planning, legal and/or other expenses associated with the review of submitted materials. Sums not utilized in the review process shall be returned. If additional sums are deemed necessary, I understand that I will be notified of the required additional amount and shall add that sum to the escrow account within fifteen (15) days. I, the Developer/Applicant, as signed below acknowledge familiarity with the procedures set forth in the Ship Bottom Borough Land Development Ordinance for submittals and required action and agree to be bound by it.

8/29/24  
 DATE SIGNATURE OF OWNER OR APPLICANT  
 MARC R. FRIDANT/SANJA J. FRIEDANT

**BOROUGH OF SHIP BOTTOM PROFESSIONAL CONSULTANTS**

Board Engineer/Planner: Frank J. Little, Jr., P.E., P.P.  
 Owen, Little & Associates, Inc.  
 443 Atlantic City Blvd.

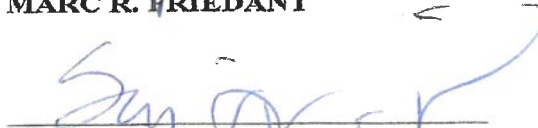
Beachwood NJ 08722  
 Phone:(732) 244-1090 Fax:(732) 341-3412

**AFFIDAVIT OF OWNERSHIP**

STATE OF CALIFORNIA :  
COUNTY OF Los Angeles §

**Marc R. Friedant and Sanja J. Friedant** of full age, being duly sworn according to law, on their oath, deposes and says that they reside at 1427 Monterey Boulevard, Hermosa, California 90254, and they are the owners in fee simple of all certain lot, piece of land situated, lying and being in the Borough of Ship Bottom, located at 1713 Bay Terrace, Ship Bottom, New Jersey, also known and designated as Block 61, Lot 3.01; and hereby authorize Kelly & Visotcky, LLC to make the within application in their behalf and that the statements contained in said application are true to his information and belief.

  
\_\_\_\_\_  
MARC R. FRIEDANT

  
\_\_\_\_\_  
SANJA J. FRIEDANT

Sworn and subscribed to  
before me this 29 day  
of August, 2024.

  
\_\_\_\_\_  
NOTARY PUBLIC OF CALIFORNIA



A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles

Subscribed and sworn to (or affirmed) before me on this 29<sup>th</sup>  
day of August, 2024, by Marc R. Friedant

proved to me on the basis of satisfactory evidence to be the  
person(s) who appeared before me.

(Seal)

Signature

Kim Pauley Petri



WAIVER OF TIME LIMITS

The undersigned, Applicants in the matter pending before the Land Use Review Board, bearing Docket No. \_\_\_\_\_, hereby consent to the continuance of the hearing in said matter and further consents to a tolling of the time within which said Board must render a decision in the above matter. If at the time and place scheduled for continuance of this hearing a quorum of the Board is not present, said matter shall be further continued to the next succeeding regularly scheduled meeting of said Board.

  
MARC R. FRIEDANT

  
SANJA J. FRIEDANT

Sworn and subscribed to  
before me this 29 day  
of August, 2024

  
NOTARY PUBLIC OF CALIFORNIA





# KELLY & VISOTCKY, LLC

ATTORNEYS-AT-LAW

P.O. Box 536

Manahawkin, New Jersey 08050

Phone: 609-597-7200

Email: [kvlaw@kvlawfirm.com](mailto:kvlaw@kvlawfirm.com)

**RICHARD P. VISOTCKY**

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## NOTICE OF HEARING

**PLEASE TAKE NOTICE** that **MARC R. FRIEDANT and SANJA J. FRIEDANT** have made application to the Ship Bottom Land Use Board for permission to demolish the single family home and construct a new single family home at their property located at 1713 Bay Terrace, Ship Bottom, New Jersey, a/k/a Lot 3.01, Block 61, on the Official Borough of Ship Bottom Tax Map.

Applicants will also seek variances for Lot Area, having proposed 3,598.3 ft., existing, (4,000 ft. required) and Lot Depth, having proposed 90 ft., existing, (100 ft. required).

Applicants will also seek any other variances that may be required by the Ship Bottom Land Use Review Board at the time this matter is heard without further notice.

This matter is on the Clerk's Docket, and a public hearing has been ordered for Wednesday, \_\_\_\_\_ at 7:00 p.m. at the Ship Bottom Municipal Building, 1621 Long Beach Boulevard, Ship Bottom, New Jersey, as soon thereafter as the matter is reached. Any person interested in this application may be present and be heard, at the time and place aforesaid.

This Notice is submitted in accordance with the requirements of the Municipal Land Use Law.

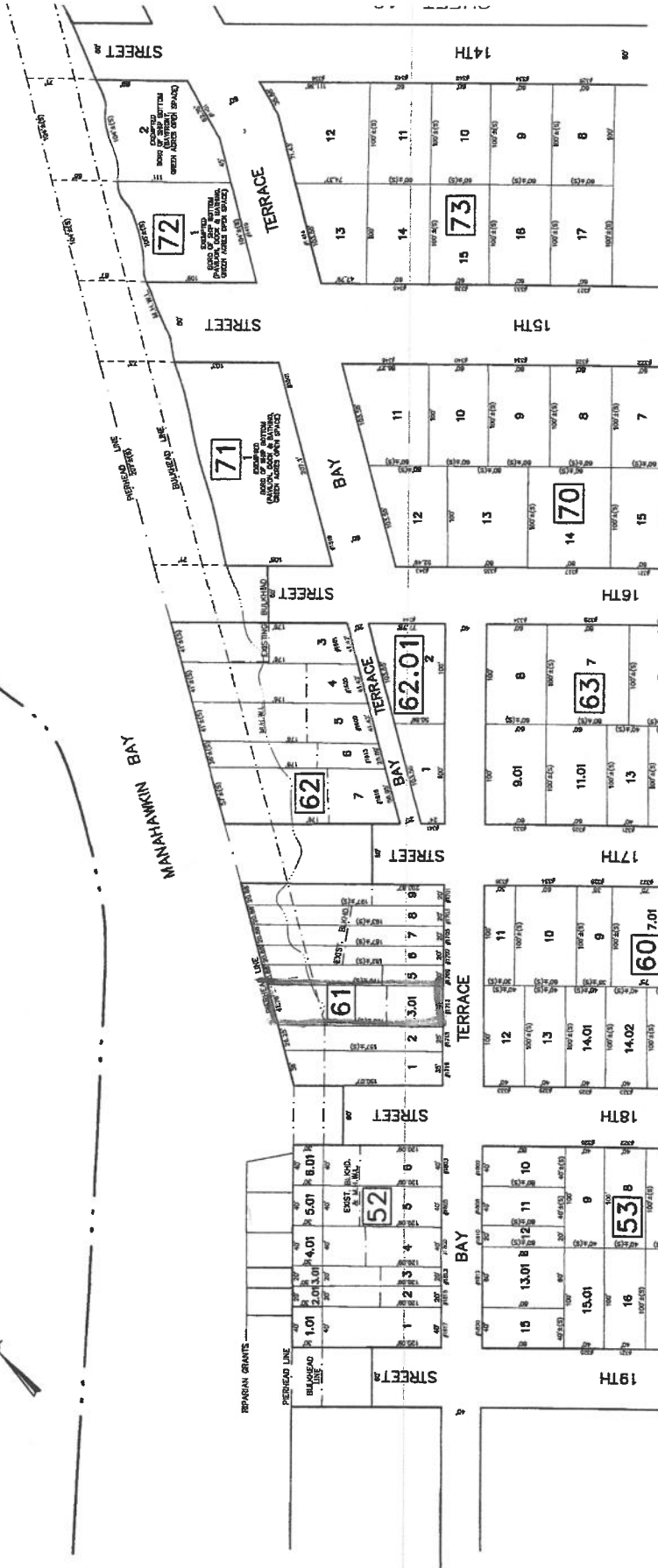
All plans and related papers are on file and available for inspection in the office of the Land Use Review Board, 1621 Long Beach Boulevard, Ship Bottom, New Jersey during normal business hours.

Kelly & Visotcky, LLC

Dated: \_\_\_\_\_

By: \_\_\_\_\_  
Richard P. Visotcky, Esquire  
Attorney for Applicants

STAFFORD TOWNSHIP  
OCEAN COUNTY



THIS MAP WAS PREPARED BY THE TAX MAPS DIVISION OF THE BUREAU OF TAXATION AND REVENUE, NEW JERSEY, ON DECEMBER 15, 2000. THE MAPS DIVISION IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY APPEAR HEREIN.

**TAX MAP**  
**BOROUGH OF SHIP BOTTOI**  
 OCEAN COUNTY  
 SCALE: 1"=50'  
 AUGUST 1, 198  
**GORDON L. HART L.S.**  
 MACRO ASSOCIATES, INC.  
 170 OBERLIN AVENUE, NORTH  
 LAKEWOOD, N.J.