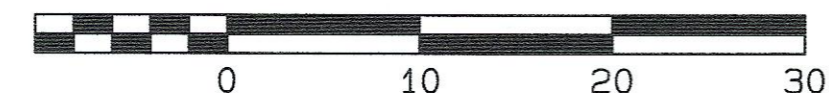


PROPOSED PLAN
SCALE: 1" = 10'



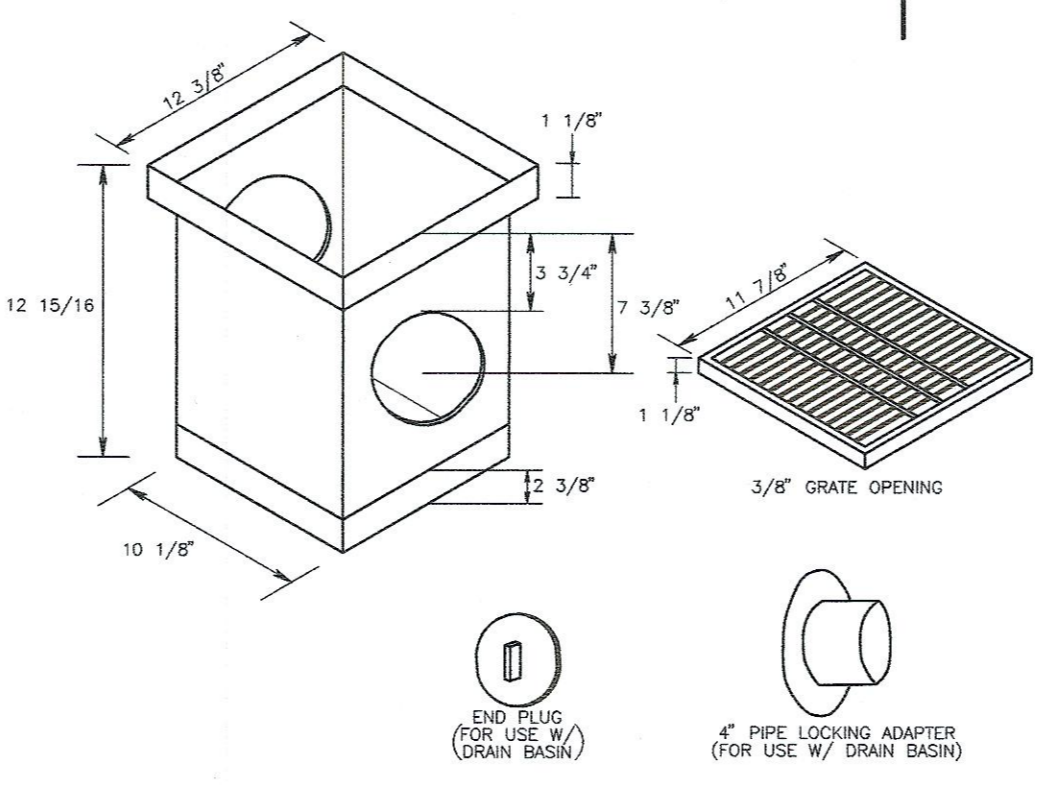
LEGEND:
 6.27 - EXISTING ELEVATION
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 [Symbol] - PROPOSED ELEVATION
 [Symbol] - DRAINAGE FLOW ARROW
 [Symbol] - SOIL BORING
 [Symbol] - OVERHEAD WIRES
 [Symbol] - UTILITY POLE
 [Symbol] - DOWNSPOUT DRAINAGE CONNECTION
 [Symbol] - DRAINAGE PIPE

- NOTES:**
- THE EXISTING PROPERTY CONTAINS A 1.5 STORY DWELLING. THE OWNER/APPLICANT PROPOSES TO REMOVE ALL EXISTING IMPROVEMENTS AND CONSTRUCT A NEW 2-STORY SINGLE FAMILY DWELLING RAISED ON A PILING FOUNDATION WITH GARAGE.
 - PLAN BASED ON SURVEY BY EAST COAST ENGINEERING, INC., DATED 02/28/2024.
 - ELEVATION BASED ON NAVD 1988 VERTICAL DATUM.
 - PROPOSED FINISHED FLOOR ELEVATION = -17.0
PROPOSED GARAGE FLOOR ELEVATION = -8.5
 - SITE LOCATED IN FLOOD HAZARD ZONE "X" AS PER FLOOD INSURANCE RATE MAP PANEL 518 OF 660, COMMUNITY PANEL NO. 345320 0218 G, MAP NUMBER 34029C0518G, EFFECTIVE DECEMBER 16, 2021.
 - SITE LOCATED IN FLOOD HAZARD ZONE "X" AS PER FLOOD INSURANCE RATE MAP PANEL 518 OF 660, COMMUNITY PANEL NO. 345320 0218 G, MAP NUMBER 34029C0518G, REVISED PRELIMINARY JANUARY 30, 2015.
 - WATER AND SEWER SERVICE TO UTILIZE EXISTING CONNECTIONS PROVIDED BY MUNICIPAL UTILITIES. EXISTING UTILITY LOCATIONS SHALL BE FIELD DETERMINED PRIOR TO ANY SITE PREPARATION, DEMOLITION, EXCAVATION OR CONSTRUCTION.
 - HOUSE DIMENSIONS OBTAINED FROM PLANS PREPARED BY MUSNUG & ASSOCIATES, DATED 07/16/2024.
 - ALL GROUND SURFACE STORMWATER RUNOFF IS TO BE DIRECTED TOWARD PERMEABLE SURFACES, ROAD OR RECHARGE TRENCH.
 - NO PLASTIC LINERS ARE TO BE USED UNDER STONE, GRAVEL, OR LANDSCAPED AREAS.
 - BUILDER TO VERIFY THAT THE VERTICAL DISTANCE OF THE BUILDING MEASURED FROM THE FUTURE TOP OF CURB ALONG 27TH STREET (ELEV. 8.5) TO THE HIGHEST POINT OF THE ROOF SHALL NOT TO EXCEED THE APPROVED HEIGHT AS PER VARIANCE.
 - BUILDER SHALL VERIFY THAT DWELLING IS CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE BUILDING REQUIREMENTS FOR FLOOD ZONES, SUCH AS FLOOD VENTING, GRADING, UTILITIES, ETC...
 - THERE ARE NO WETLANDS DISTURBED BY THE PROPOSED DEVELOPMENT.

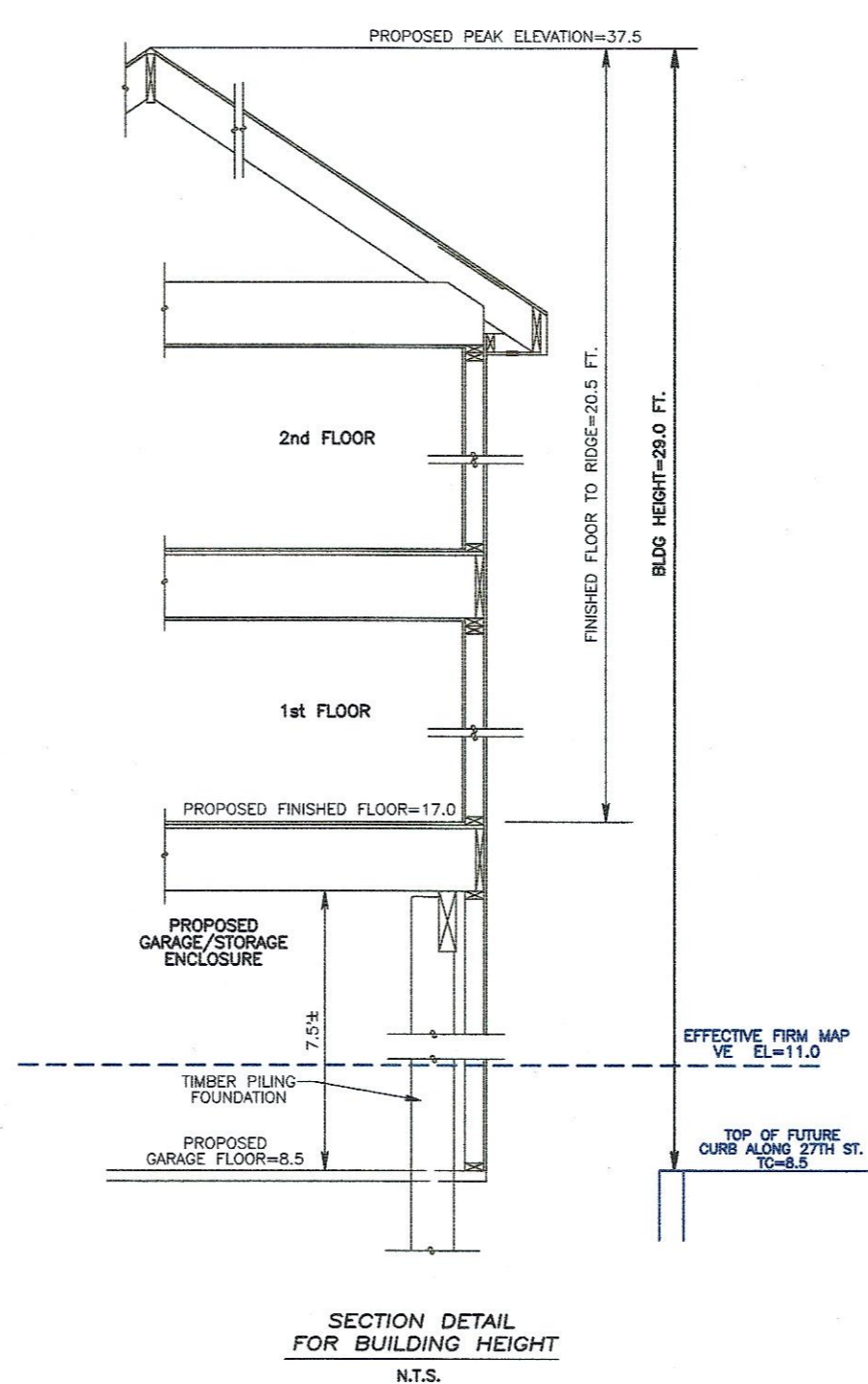
R-3 ZONE REQUIREMENTS		REQUIRED	EXISTING	PROPOSED
MINIMUM LOT WIDTH & FRONTAGE:	40 FT.	25.00 FT.(ENC)	N/A	N/A
MINIMUM LOT DEPTH:	100 FT.	80.0 FT.(ENC)	N/A	N/A
MINIMUM LOT AREA:	4,000 S.F.	2,000 S.F.(ENC)	N/A	N/A
MINIMUM FRONT SETBACK:	15 FT.	4.8 FT.(ENC)	16.25 FT.	16.25 FT.
MINIMUM REAR SETBACK:	15 FT.	3.75 FT.(ENC)	3.75 FT.	3.75 FT.
MINIMUM SIDE SETBACK:	10 FT.	-0.6 FT.(ENC)	3.0 FT.(ENC)	3.0 FT.(ENC)
MINIMUM CORNER SIDE SETBACK:	15 FT.	15 FT.	15 FT.	15 FT.
MINIMUM FLOOR AREA:	900 S.F.	521 S.F.(ENC)	780 S.F.(ENC)	780 S.F.(ENC)
MAXIMUM BUILDING COVERAGE:	30 %	31.9 % (ENC)	38.9 % (ENC)	38.9 % (ENC)
MAXIMUM LOT COVERAGE:	75 %	38.1 % (ENC)	60.0 % (ENC)	60.0 % (ENC)
MAXIMUM BUILDING HEIGHT:	24 FT.(a)	24 FT.(a)	24 FT.(a)	24 FT.(a)
MAXIMUM BUILDING STOREYS:	(10)	1.5 STOREYS(ENC)	2 (PV)	2 (PV)
OFF STREET PARKING:	2/STREET	2 SPACES	2	2

BUILDING COVERAGE		ITEM	PROPOSED
DWELLING	780 S.F.		
A/C DECK	18 S.F.		
PAVER PATIO	202 S.F.		
TOTAL AREA	778 S.F./38.9%		

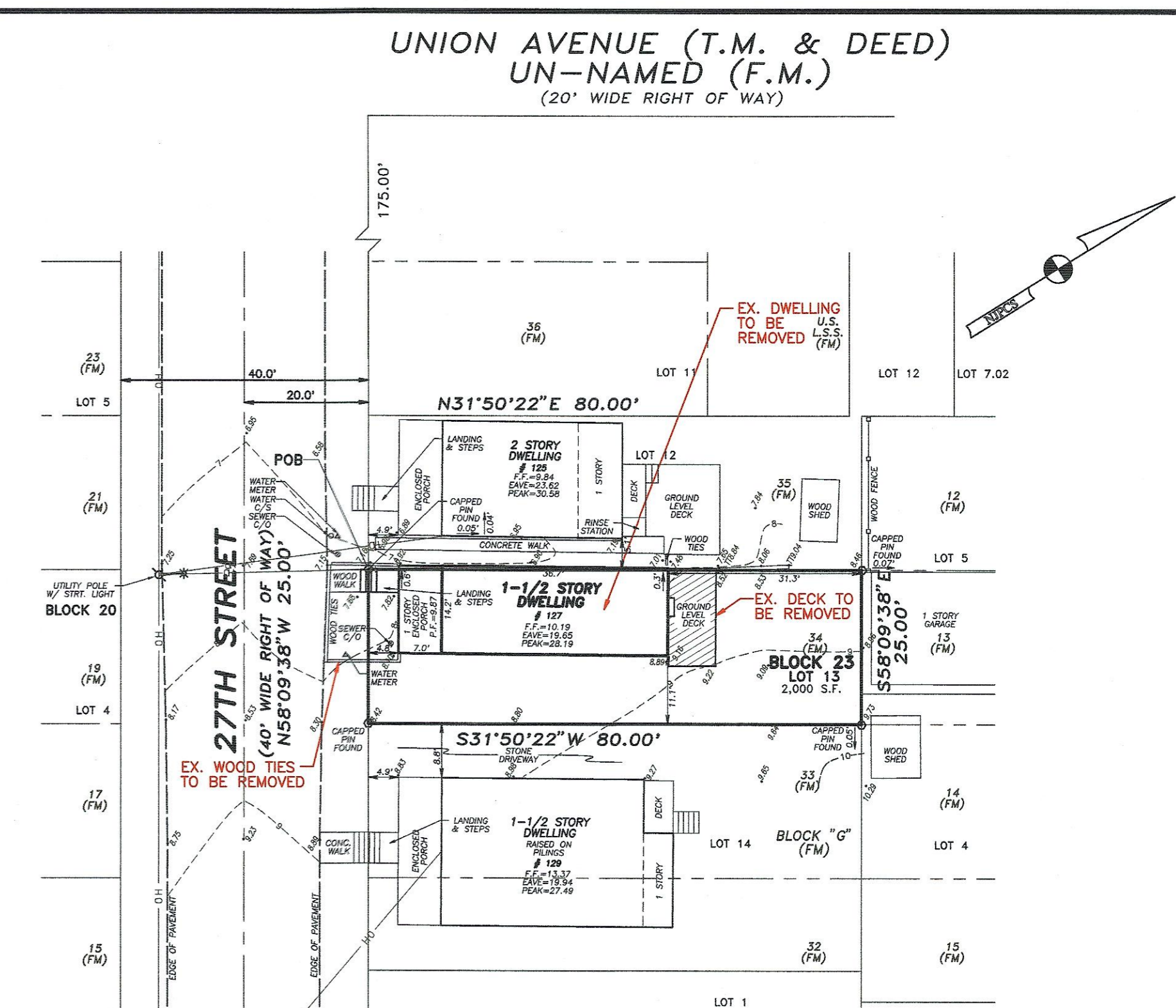
IMPERVIOUS COVERAGE		ITEM	PROPOSED
DWELLING	780 S.F.		
A/C DECK	18 S.F.		
PAVER PATIO	202 S.F.		
TOTAL AREA	1,199 S.F./60.0%		



YARD DRAIN DETAIL
N.T.S.

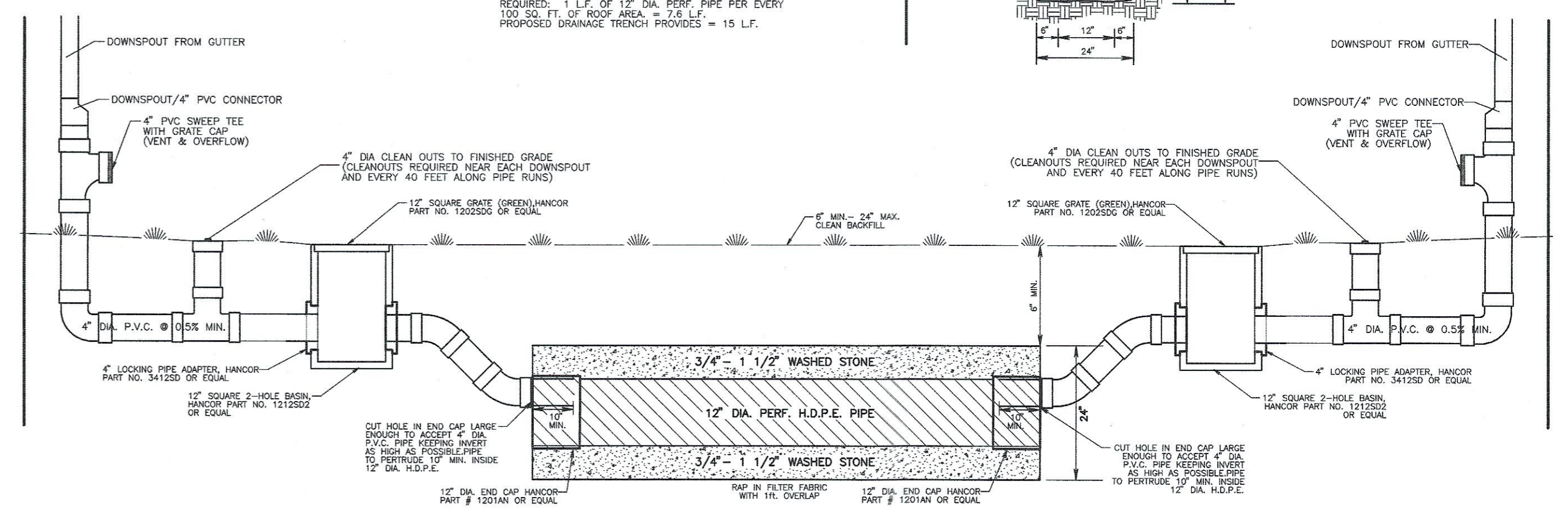
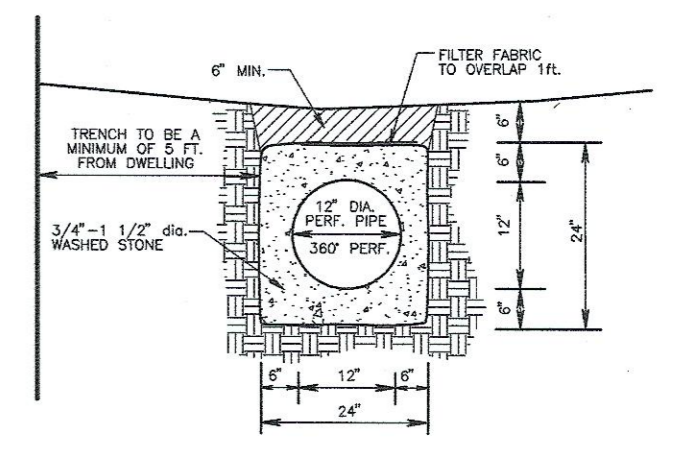


SECTION DETAIL FOR BUILDING HEIGHT
N.T.S.



EX. CONDITIONS/DEMO PLAN
SCALE: 1" = 20'
GRAPHIC SCALE 1" = 20'

DRAINAGE CALCULATIONS:
 PROPOSED ROOF AREA = 780 SQ. FT.
 REQUIRED: 1 L.F. OF 12" DIA. PERFOR. PIPE PER EVERY 100 SQ. FT. OF ROOF AREA = 7.8 L.F.
 PROPOSED DRAINAGE TRENCH PROVIDES = 15 L.F.

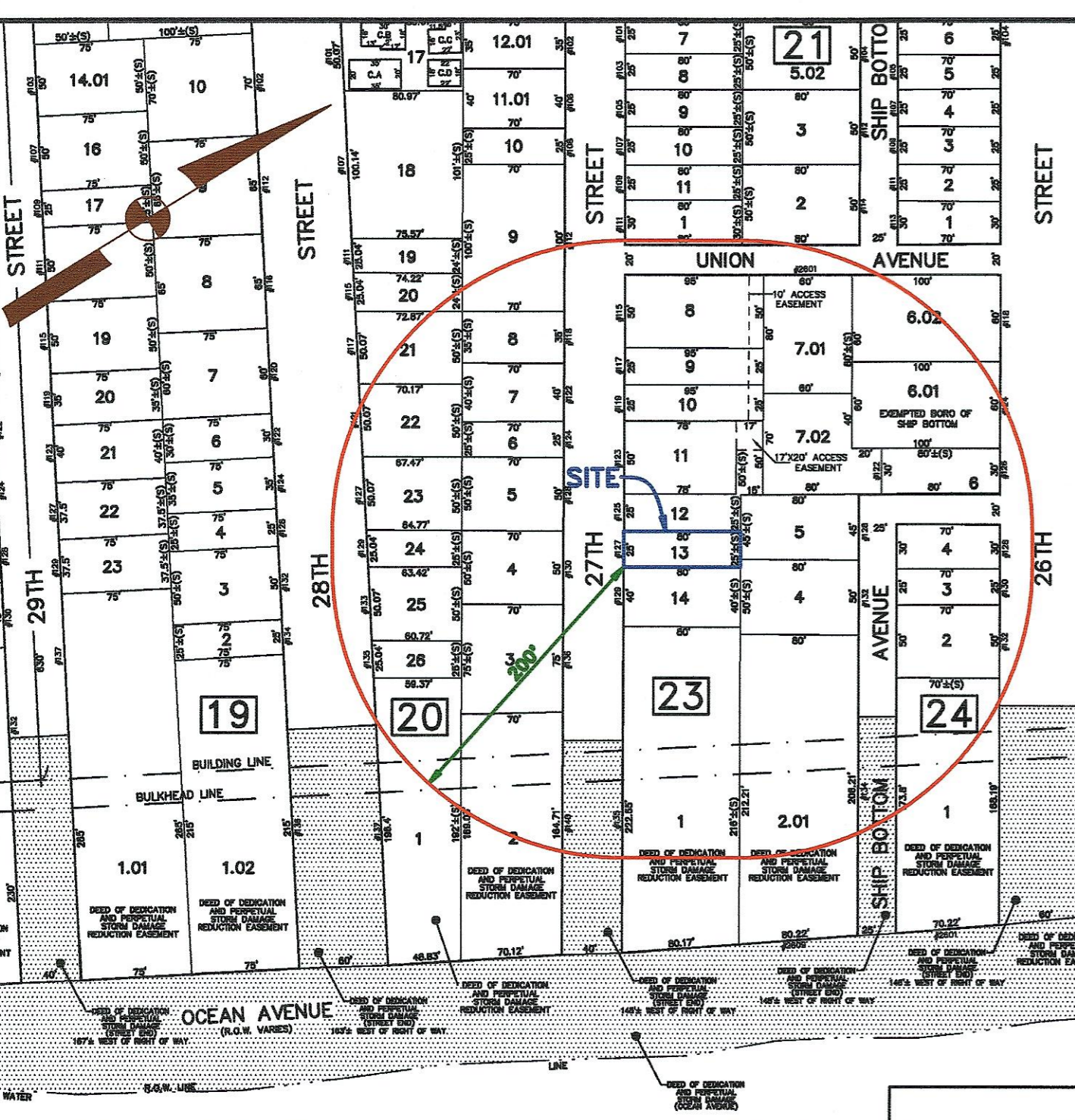


RECHARGE TRENCH DETAIL
N.T.S.

SITE ADDRESS:
127 E 27TH STREET
SHIP BOTTOM, NJ 08008

APPLICANT/OWNER:
SHIP BOTTOM CREEK NJ, LLC
1315 MILL CREEK ROAD
MANAHAWKAN, NJ 08050

META DATA
UNITS: USFT
HORIZONTAL DATUM: NAD 1983
VERTICAL DATUM: NAVD 1988



KEY MAP
SCALE: 1" = 100'±

VARIANCE PLAN

PREPARED FOR
SHIP BOTTOM CREEK NJ, LLC

BLOCK 23 LOT 13
BOROUGH OF SHIP BOTTOM
OCEAN COUNTY, NEW JERSEY

East Coast Engineering, Inc.
JAY F. PIERSON, P.L.S., P.E.
ROBERT J. HARRINGTON, P.E.
JASON M. MARCIANO, P.E.
JOSEPH L. LAZKO, P.E.

ENGINEERING LAND SURVEYING PLANNING GPS
JOB NO.: 2024-0132 TAX MAP SHEET NO.: 2
DRAWN BY: CLG SCALE: AS INDICATED (732) 244-3030 VOICEMAIL 508 MAIN STREET
CHECKED BY: JMM DATE PREPARED: 08/26/2024 (732) 244-3044 FAX WWW.ECENRINC.NJ
NEW JERSEY PROFESSIONAL PLANNER 05225
NEW JERSEY PROFESSIONAL LAND SURVEYOR 27492
NEW JERSEY PROFESSIONAL ENGINEER 44814

JAY F. PIERSON, L.S., P.E.
JASON M. MARCIANO, P.E., P.P.

Project Desc.: Path: J:\2024\20240132\20240132.pro Plot Date/Time: Mon Aug 26 2024 / 1:38:15