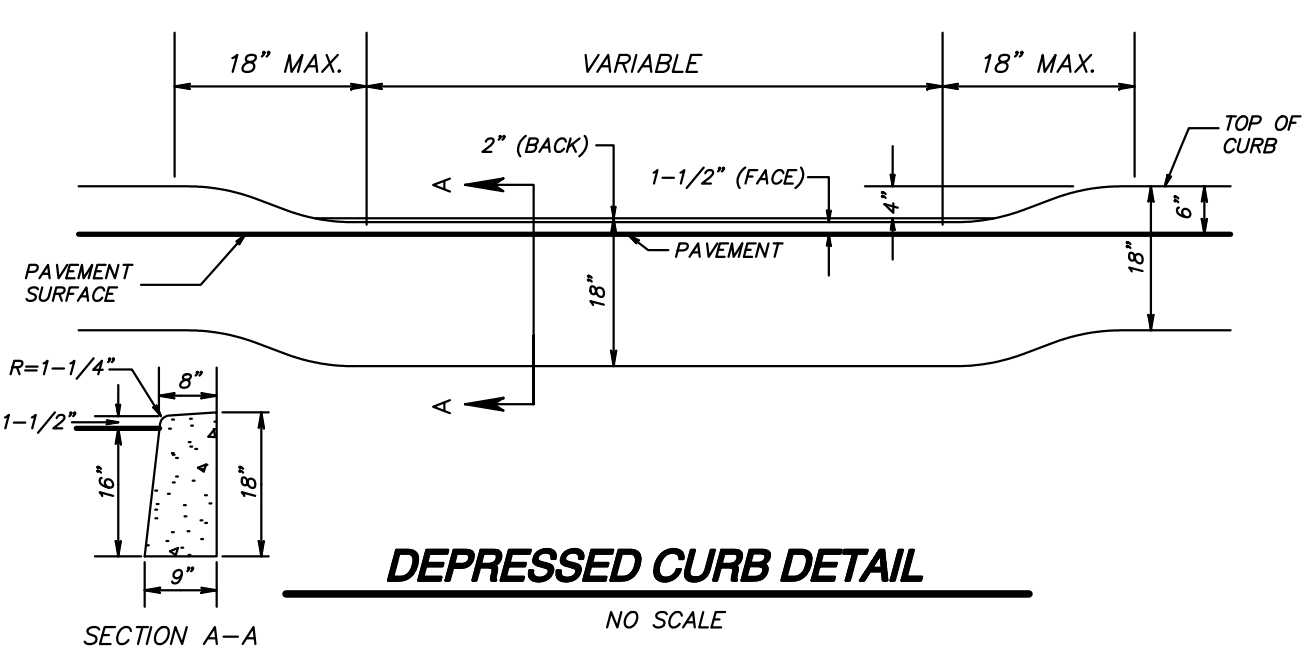
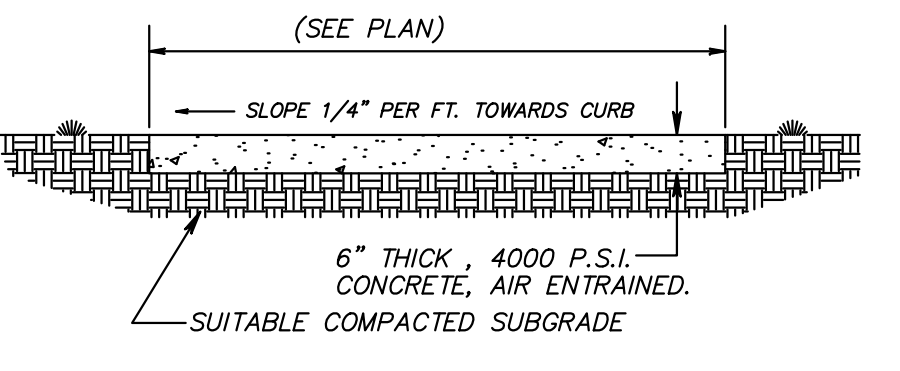


**VERTICAL CONCRETE CURB DETAIL**  
NO SCALE

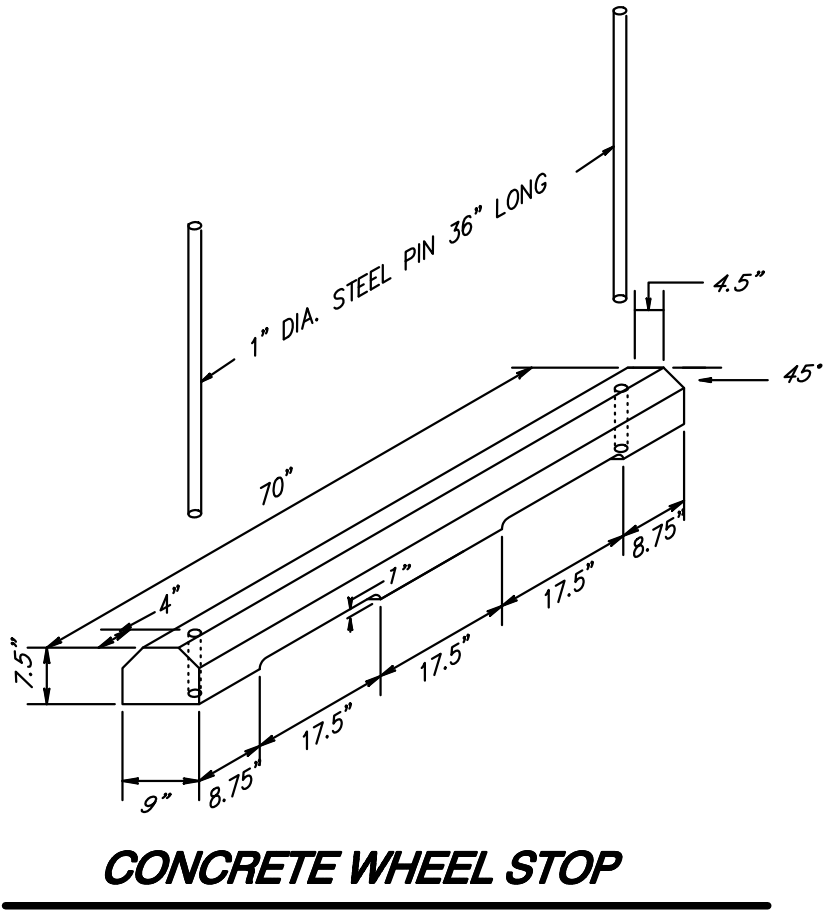
NOTES:  
1. CONCRETE TO BE N.J.D.O.T. CLASS "B" (AIR ENTRAINED).  
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF A.A.S.H.T.O. M-213, RECESSED 1/4" IN FROM THE FRONT FACE AND TOP OF THE CURB.  
3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.  
4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF PAVEMENT LESS 1/2"



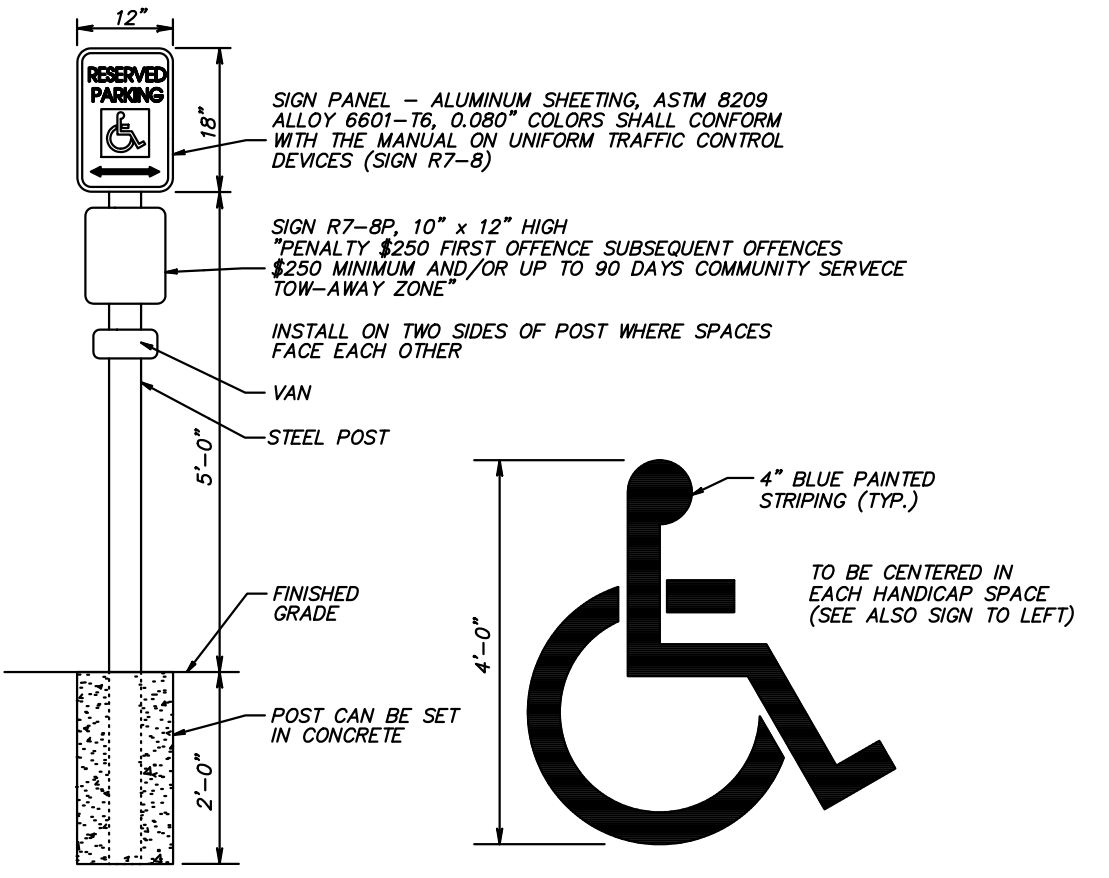
**DEPRESSED CURB DETAIL**  
NO SCALE



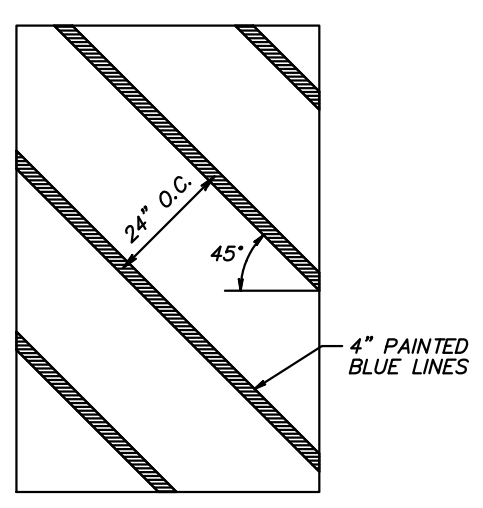
**CONCRETE PAD DETAIL**  
NO SCALE



**CONCRETE WHEEL STOP**  
NO SCALE



**HANDICAPPED PARKING SYMBOL**  
NO SCALE



**H/C STRIPING DETAIL**  
NO SCALE

**NOTES:**

- PROPERTY WAS SURVEYED IN ACCORDANCE WITH DEED BOOK 3409 PAGE 440, LOT 2, BLOCK 88, AND A MAP ENTITLED "MINOR SUBDIVISION LOTS 1, 2, AND 3, BLOCK 88 TAX MAP SHEET #14, BOROUGH OF SHIP BOTTOM, OCEAN COUNTY, NEW JERSEY" FILED IN THE OCEAN COUNTY CLERK'S OFFICE ON MAP NO. 20, 2014 AS MAP NO. 4-23191. DEED BOOK 12206, PAGE 0456, LOT 1.02, BLOCK 88. FIELD CONDITIONS AS OF 2/24/2023.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAN, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- NO INVESTIGATION WAS MADE CONCERNING SUBSURFACE CONDITIONS OR THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THIS DRAWING DOES NOT IDENTIFY OR CERTIFY THE EXISTENCE OF ANY FRESHWATER WETLANDS AND/OR AREAS NOW OR FORMERLY FLOWED BY TIDEWATERS BEING CLAIMED BY THE STATE OF NEW JERSEY WHICH MAY OR MAY NOT EXIST ON SITE.
- OFFSETS AS SHOWN HEREON ARE NOT TO BE USED FOR CONSTRUCTION OF FENCES OR ANY OTHER PERMANENT STRUCTURE AND/OR THE PLACEMENT OF ACCESSORY BUILDINGS.
- ALL ELEVATIONS ARE BASED ON NAVD OF 1988.
- UNDERGROUND UTILITIES NOT LOCATED BY THIS SURVEY: ANY/ALL CONTRACTORS SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION WORK ON THIS TRACT. TELEPHONE NUMBER TO MARK OUT UTILITIES IN FIELD IS "NEW JERSEY ONE CALL" 1-800-272-1000.
- THIS PLAN IS FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. BUILDING DIMENSIONS SET FORTH HEREON ARE TO BE VERIFIED BY BUILDER PRIOR TO STARTING CONSTRUCTION.
- PROPERTY IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 7 (NAVD 1988) AS SHOWN ON FLOOD INSURANCE RATE MAP SHIP BOTTOM BOROUGH, COMMUNITY NO. 343320, PANEL 05180, MAP NO. 340290518H, EFFECTIVE DATE 12/16/2021. THE PROPERTY'S PRELIMINARY BASE FLOOD ELEVATION IS ELEVATION 8 (NAVD 1988) AND IS LOCATED IN PRELIMINARY FLOOD ZONE AE, AS SHOWN ON PRELIMINARY MAP NO. 340290518H, PUBLISHED 1/30/2015. THIS IS FOR INFORMATIONAL PURPOSES ONLY AND IS SUBJECT TO VERIFICATION BY FEMA.
- EXISTING UTILITIES SERVING THE BUILDING TO BE UTILIZED. NO NEW UTILITIES ARE PROPOSED.
- APPLICANT PROPOSES TO PROVIDE SEASONAL OUTDOOR DINING. THE EXISTING PARKING AREA WILL REMAIN GRAVEL.
- SOLID WASTE DISPOSAL TO BE PROVIDED BY PRIVATE CARTING SERVICE.
- PARKING REQUIREMENTS:  
RESTAURANT: 1 SPACE/4 SEATS (75 SEATS) = 18.75 SPACES  
OUTDOOR SEATS: 1 SPACE/4 SEATS (24 SEATS) = 6 SPACES  
1 SPACE/500 SF NFA (2,520 SF) = 5 SPACES  
30 SPACES REQUIRED  
16 SPACES PROPOSED  
RESTAURANT IS APPROVED FOR 75 SEATS INSIDE.
- THERE IS NO CHANGE IN TRAFFIC CIRCULATION OR DRAINAGE PATTERNS.
- THERE ARE NO STREAMS, PONDS, MARSHES, OR WETLANDS ON THE SITE OR WITHIN 100 FEET OF TRACT.
- NO OUTDOOR MUSIC IS TO BE PLAYED, NO OUTDOOR SERVICE IS TO BE PROVIDED AFTER 10 PM.
- SHOULD ANY PORTION OF THE CURB AND/OR SIDEWALK THAT FRONTS THE SITE BE FOUND TO BE DETERIORATED OR BELOW DESIGN STANDARDS, IT SHALL BE REMOVED AND REPLACED AT THE DIRECTION OF THE BOROUGH ENGINEER.

**VARIANCE REQUESTED FROM:**

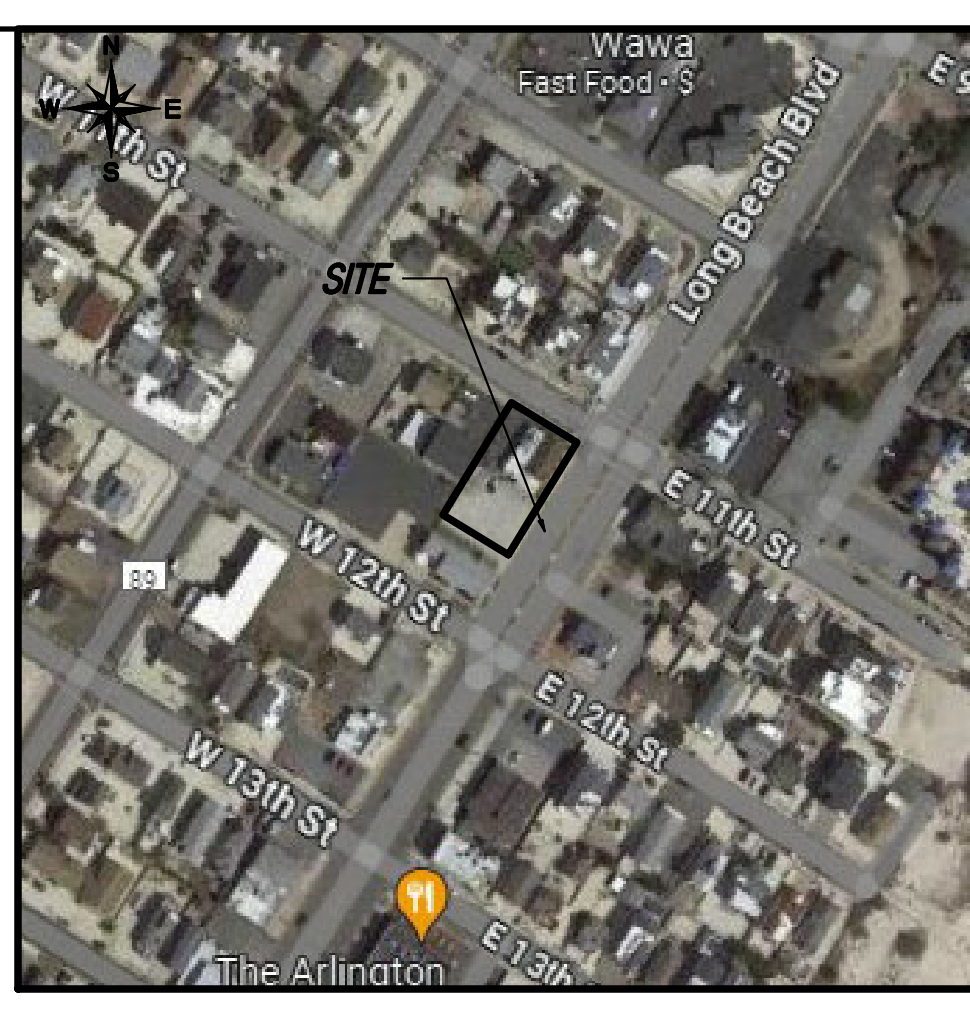
- SECTION 16.44.0106 b - PROVIDING 5' BUFFER ALONG COMMON PROPERTY LINE WITH A RESIDENTIAL ZONE; WHEREAS NO BUFFER EXISTS OR IS PROVIDED.

**WAIVER REQUESTED FROM:**

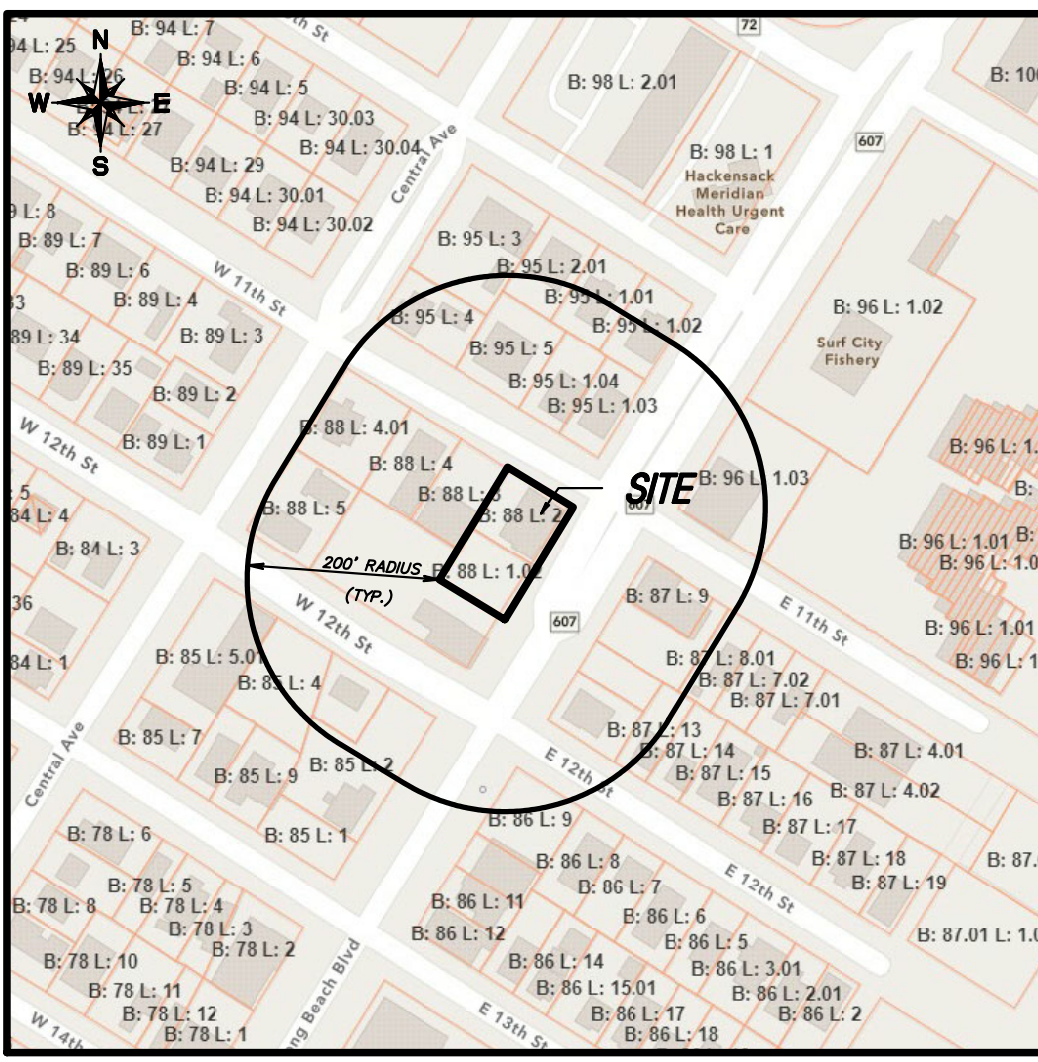
- PROVIDING PREREQUISITE PLAN INFORMATION REQUIRING LIGHTING, LANDSCAPING, BUFFERING, DRAINAGE, AND OTHER IMPROVEMENT REQUIREMENTS.

**LEGEND**

- - - - - EXIST. CONTOUR
- - - - - PROPOSED CONTOUR
- M.B.S.L. = MINIMUM BUILDING SETBACK LINE
- 9.5 = EXIST. ELEVATION
- - - - - PROPOSED ELEVATION
- W-V = WATER VALVE
- W-M = WATER METER
- o = SAN. CLEAN OUT



**KEY MAP**



**LOCATION MAP**



APPROVED BY  
**SHIP BOTTOM BOROUGH LAND USE BOARD**  
**MINOR SITE PLAN**

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

**APPLICANT/OWNER**

LAPERRO, LLC, C/O MARION LOPEZ  
1101 LONG BEACH BOULEVARD  
SHIP BOTTOM, NJ 08008  
609-226-1421

**ZONE: SC (SHORE COMMERCIAL)**

MINIMUMS:	REQUIRED:	EXISTING:	PROVIDED:
LOT AREA	4800 S.F.	10,960 S.F.	10,960 S.F.
LOT WIDTH	60 FT.	80 FT.	80 FT.
LOT FRONTAGE	60 FT.	80 FT.	80 FT.
LOT DEPTH	80 FT.	137 FT.	137 FT.
<b>PRINCIPAL BUILDING:</b>			
FRONT SETBACK	15 FT. (11TH STREET)	4.9 FT.*	4.9 FT.*
FRONT SETBACK	15 FT. (LONG BEACH BOULEVARD)	9.9 FT.*	9.9 FT.*
REAR SETBACK	10 FT.	70.8 FT.	70.8 FT.
SIDE SETBACK	5 FT.	29.8 FT.	29.8 FT.
<b>MAXIMUMS:</b>			
BUILDING HEIGHT	35 FT.(2.5 STORIES)	<35 FT.	<35 FT.
LOT COVERAGE (BLDD)	35%	25.4%	25.4%
LOT COVERAGE (IMPERVIOUS)	90%	49.2%	52.3%

\* EXISTING NON-CONFORMITY

No.	DATE	REVISION	BY	CHK.
1	4/3/24		JOHN P. AUGUSTINE	
2	4/3/24		BRUCE A. JACOBS	

**GRAVATT CONSULTING GROUP**  
Engineers • Surveyors • Planners • Environmental Scientists

414 Lacey Road, Forked River, NJ 08731  
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Certificate of Authorization No. 2402792900

SHEET NO. 1 OF 1  
PROJECT NUMBER  
**12090**

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SPECTRA™  
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