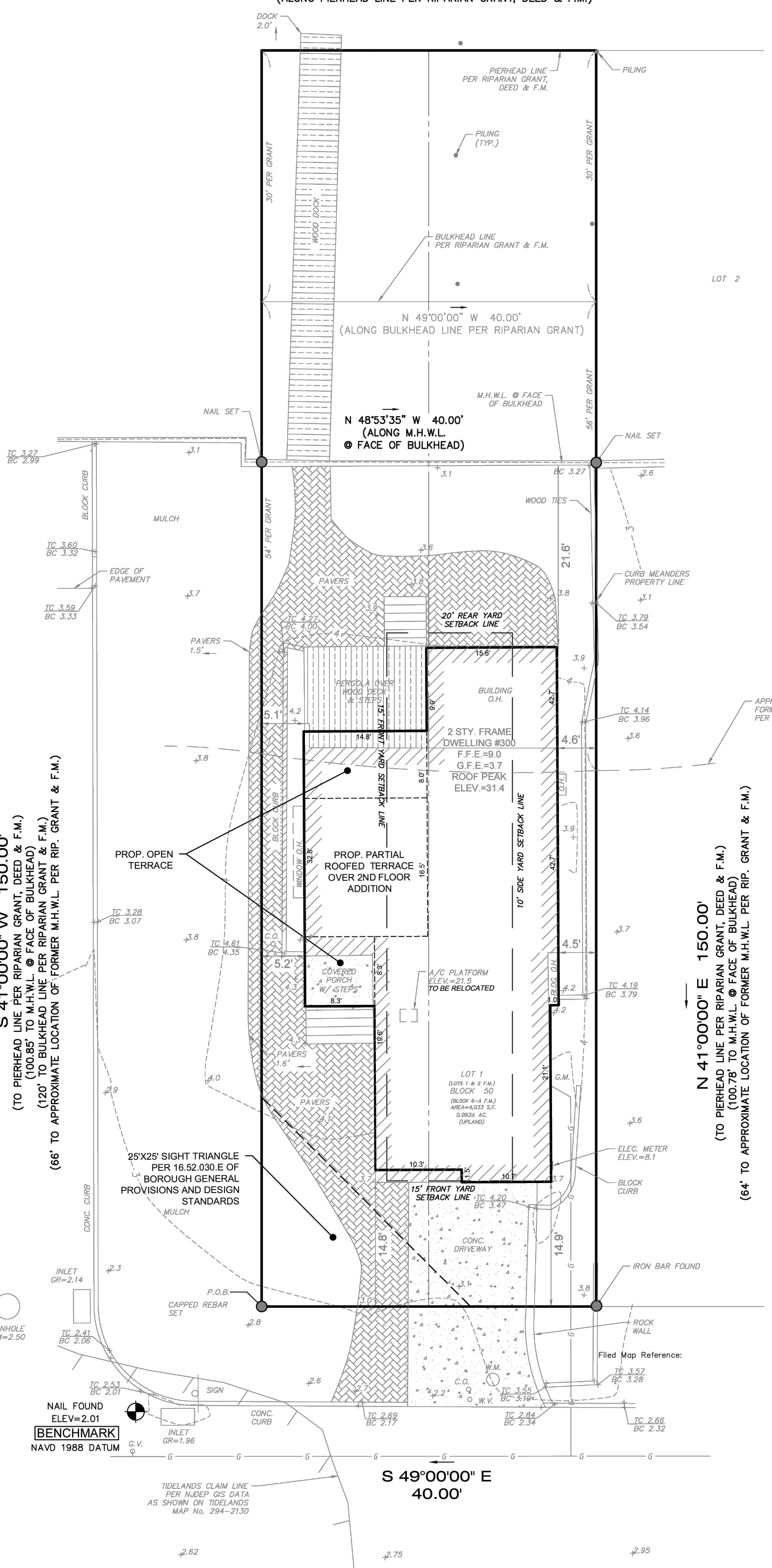


MANAHAWK BAY
(A.K.A. BARNEGAT BAY)
(F.K.A. LITTLE EGG HARBOR BAY & MANAHAWKEN BAY)

N 49°00'00" W 40.00'
(ALONG PIERHEAD LINE PER RIPARIAN GRANT, DEED & F.M.)

BARNEGAT AVENUE
(A.K.A. PENNSYLVANIA AVENUE)
(100' R.O.W.)
S 41°00'00" W 150.00'
(TO PIERHEAD LINE PER RIPARIAN GRANT, DEED & F.M.)
(120' TO BULKHEAD LINE PER RIPARIAN GRANT & F.M.)
(66' TO APPROXIMATE LOCATION OF FORMER M.H.W.L. PER RIP. GRANT & F.M.)



N 41°00'00" E 150.00'
(TO PIERHEAD LINE PER RIPARIAN GRANT, DEED & F.M.)
(100.78' TO M.H.W.L. @ FACE OF BULKHEAD)
(64' TO APPROXIMATE LOCATION OF FORMER M.H.W.L. PER RIP. GRANT & F.M.)

S 49°00'00" E 40.00'

WEST 19TH STREET
(60' R.O.W.)
(A.K.A. 19TH STREET)
(A.K.A. S. 19TH STREET)

LEGEND

---	PIERHEAD LINE
---	BULKHEAD LINE
---	WOOD DECK
---	PAVERS
---	MULCH
---	CONC. CURB
---	IRON BAR FOUND
---	ROCK WALL
---	FILED MAP REFERENCE
---	MANHOLE
---	INLET
---	PAVERS
---	MULCH
---	CONC. CURB
---	IRON BAR FOUND
---	ROCK WALL
---	FILED MAP REFERENCE
---	MANHOLE
---	INLET

PREPARED FOR: MARIO BATISTA AND LISA BATISTA

MORGAN
engineering & surveying

1000 ROUTE 100
TOWNSHIP, N.J. 07054
TEL: 732-270-8888
FAX: 732-270-8889
WWW.MORGANENGINEERING.COM

DONNA M. BULLOCK
N.J. 4361 PROFESSIONAL ENGINEER
LICENSE No. 41531

2 4/19/24 ADDED SIGHT TRIANGLE & REMOVED FAR CALC. WBS
1 3/25/24 REV. FOR UPLAND AREA. WBS

PLOT PLAN FOR AN ATTIC ADDITION W/ VARIANCE

#300 WEST 19TH STREET
LOT 1 BLOCK 50
BOROUGH OF SHIP BOTTOM
COUNTY OF OCEAN NEW JERSEY

DATE: 4/19/24
SCALE: AS SHOWN

ZONING ANALYSIS		300 WEST 19TH STREET SHIP BOTTOM, NJ		
	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED.
LOT NUMBER	-	1	UNCHANGED	NO
BLOCK NUMBER	-	50	UNCHANGED	NO
ZONING DISTRICT	-	R-2 ZONE	UNCHANGED	NO
MINIMUM LOT AREA (UPLAND)	4,000 SF	4,033 SF	UNCHANGED	NO
MINIMUM LOT DEPTH	100 FEET	100.78 FEET	UNCHANGED	NO
MINIMUM LOT FRONTAGE	40 FEET	40 FEET	UNCHANGED	NO
FRONT YARD SETBACK	15 FEET	5.1 FEET (BARNEGAT AVE)	UNCHANGED	EXISTING NON-CONFORMING
TWO FRONT YARD FOR CORNER LOT		14.8 FEET (WEST 19TH ST)	UNCHANGED	EXISTING NON-CONFORMING
SIDE YARD SETBACK	10 FEET	4.5 FEET (RIGHT SIDE)	UNCHANGED	EXISTING NON-CONFORMING
REAR YARD SETBACK (FROM BULKHEAD)	20 FEET (FROM B.H.)	21.6 FEET	UNCHANGED	NO
MAX. BUILDING COVERAGE	35 % OR (1,412 SF)	1,740 SF (43.1 %)	UNCHANGED	EXISTING NON-CONFORMING
MAX. LOT COVERAGE (IMPERVIOUS AREAS)	75 % OR (3,025 SF)	2,861 SF (70.9 %)	UNCHANGED	NO
MAX. NUMBER OF STORIES	2 1/2 STORIES	2 STORIES	2 STORIES	NO
MAXIMUM HEIGHT	32 FEET	22.4 FEET	32 FEET	NO

NOTE 1: LIST OF AREAS, BUILDING COVERAGE CALCULATIONS

A. EXISTING BUILDING FOOTPRINT	1512 SF
B. EXISTING ROOFED FRONT PORCH	52 SF
C. EXISTING REAR WOOD DECK (MORE THAN 12" ABOVE GRADE)	176 SF

NOTE 2: LIST OF AREAS, IMPERVIOUS COVERAGE CALC.

D. EXISTING ASPHALT DRIVEWAY	214 SF
E. EXISTING PAVED WALKWAY	835 SF
F. EXISTING STEPS	30 SF
G. EXISTING BLOCK CURB	42 SF

FLOOR AREA (GROSS)			
	EXISTING	PROP. ADDITION	TOTAL
FIRST FLOOR	1512	0	1512
SECOND FLOOR	665	845	1560
TOTAL	2177	845	3022
% INCREASE			41.1%

REVISIONS:

MINKLER
ARCHITECTURE & DESIGN

DRAWN BY: EBB

DATE: 04/12/2024

54 CHAPEL HILL RD. RED BANK, NJ 07701
P: 908-692-8412 Email: vminkler@gmail.com

PROJECT: ADDITIONS AND ALTERATIONS FOR:

MARIO AND LISA BATISTA

300 WEST 19TH STREET
BOROUGH OF SHIP BOTTOM, OCEAN COUNTY, NEW JERSEY

A. VINCENT MINKLER

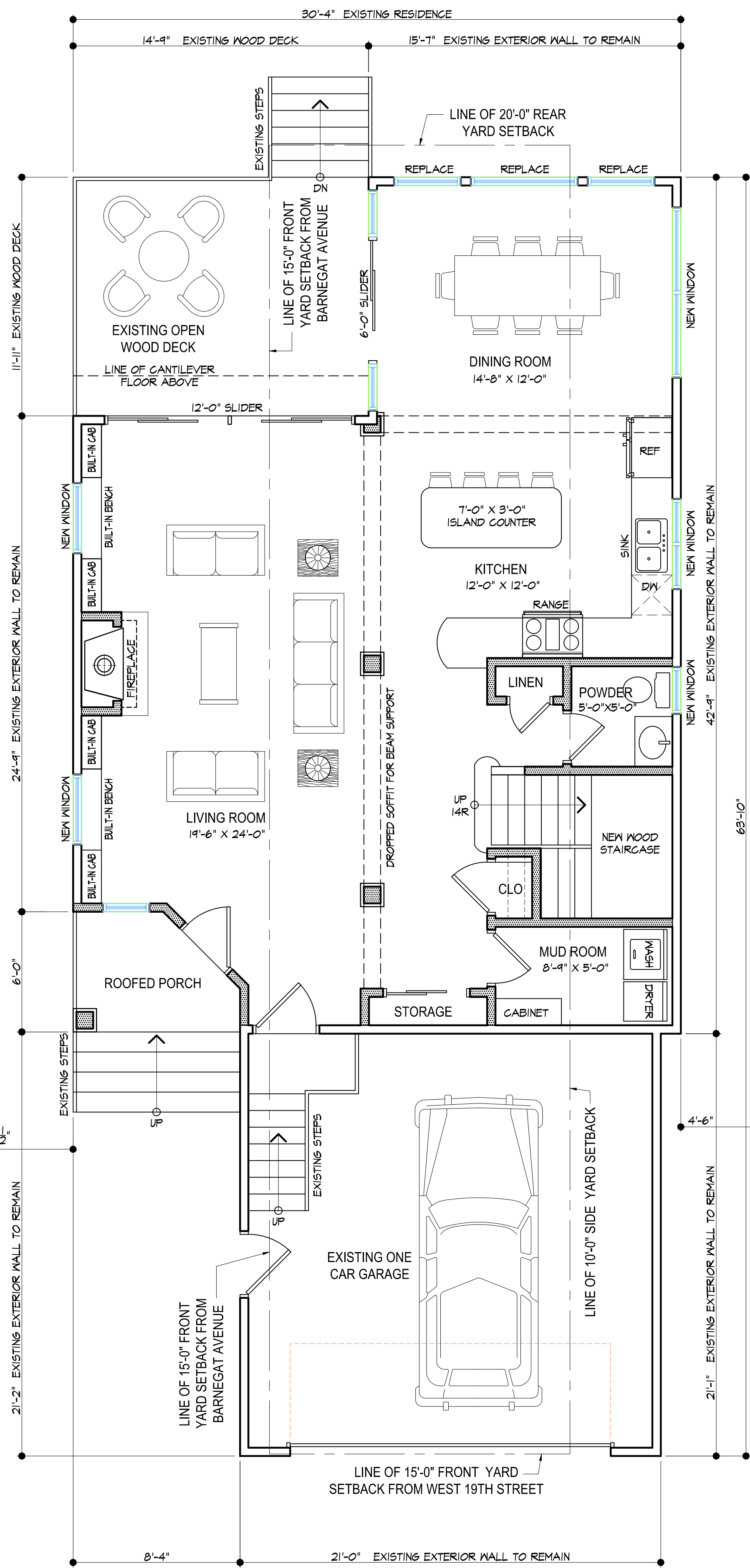
NJ Lic. No. 21A101978200

VARI-1
SHEET 1 OF 3

BARNEGAT AVENUE

PROPERTY LINE

PROPERTY LINE

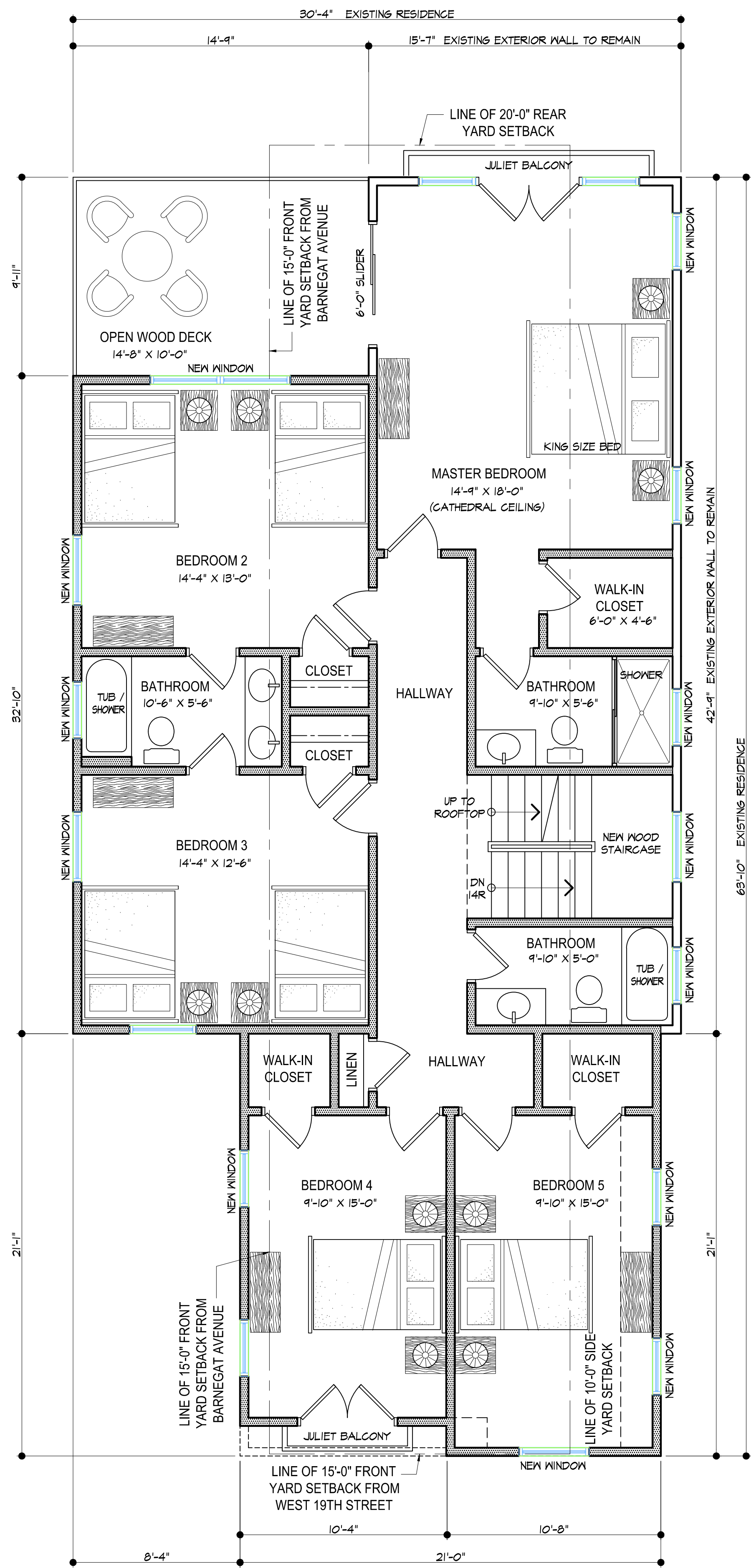


EXISTING AND PROPOSED FIRST FLOOR PLAN

scale: 1/4" = 1'-0"

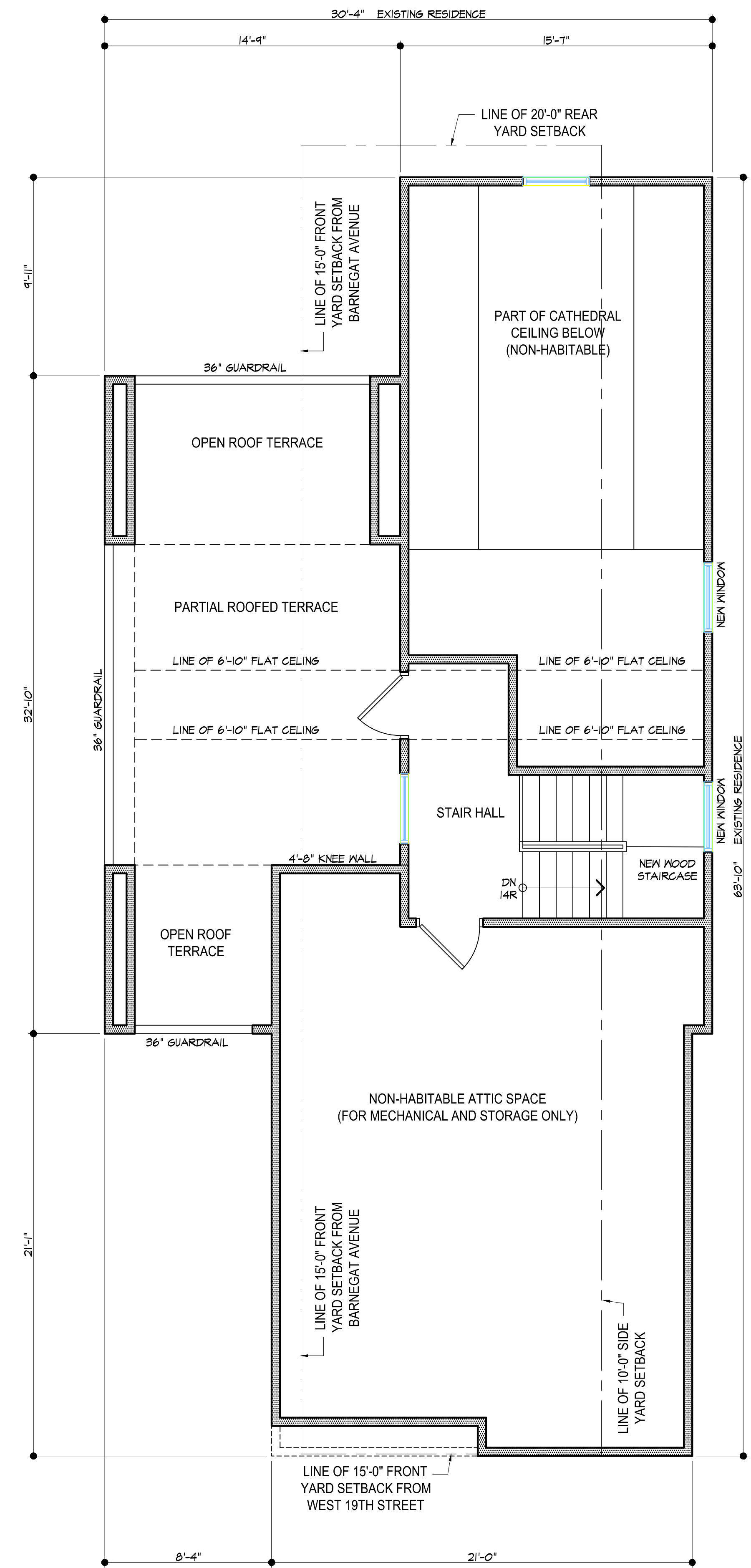
PROPERTY LINE

PROPERTY LINE



EXISTING AND PROPOSED SECOND FLOOR PLAN

scale: 1/4" = 1'-0"



PROPOSED ATTIC / ROOF FLOOR PLAN

scale: 1/4" = 1'-0"

PARTITION LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION

REVISIONS:

MINKLER

ARCHITECTURE & DESIGN

ADDITIONS AND ALTERATIONS FOR:
MARIO AND LISA BATISTA
 300 WEST 19TH STREET
 BOROUGH OF SHIP BOTTOM, OCEAN COUNTY, NEW JERSEY

A. VINCENT MINKLER
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VAR1-2
 SHEET 2 OF 3

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 P: 908-692-8412 Email: vminkler@gmail.com

DRAWN BY: EBB

DATE: 04/12/2024



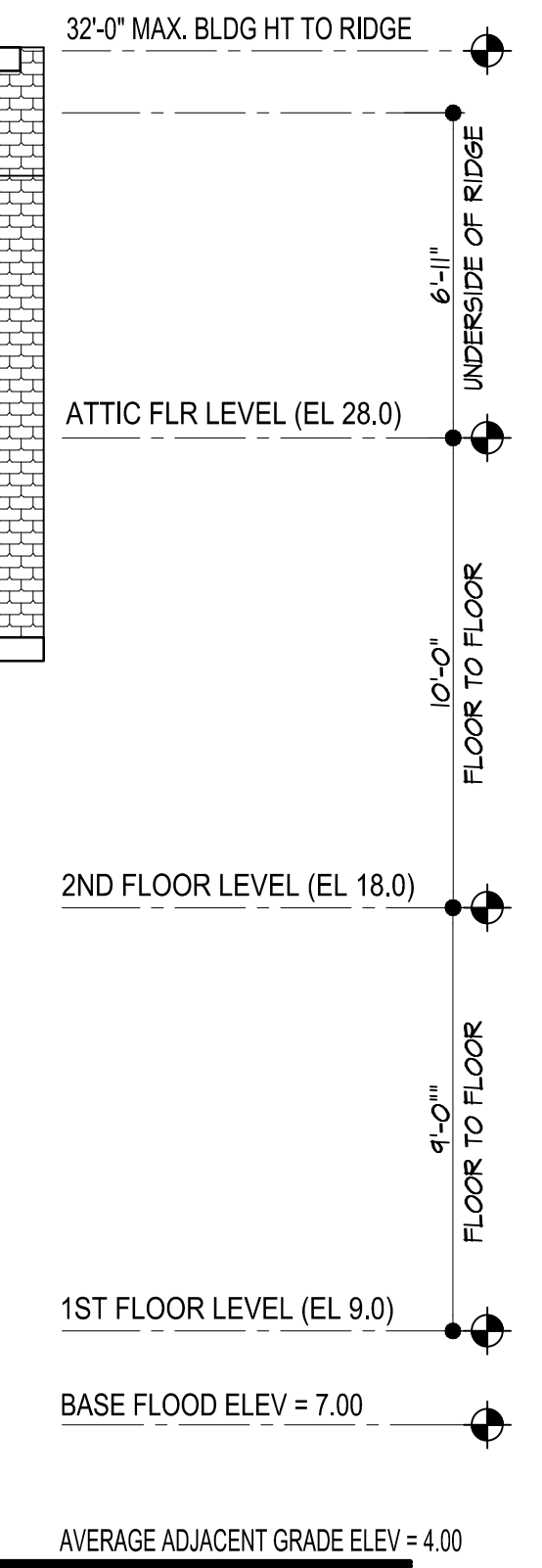
PROPOSED LEFT SIDE ELEVATION

scale: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION

scale: 1/4" = 1'-0"



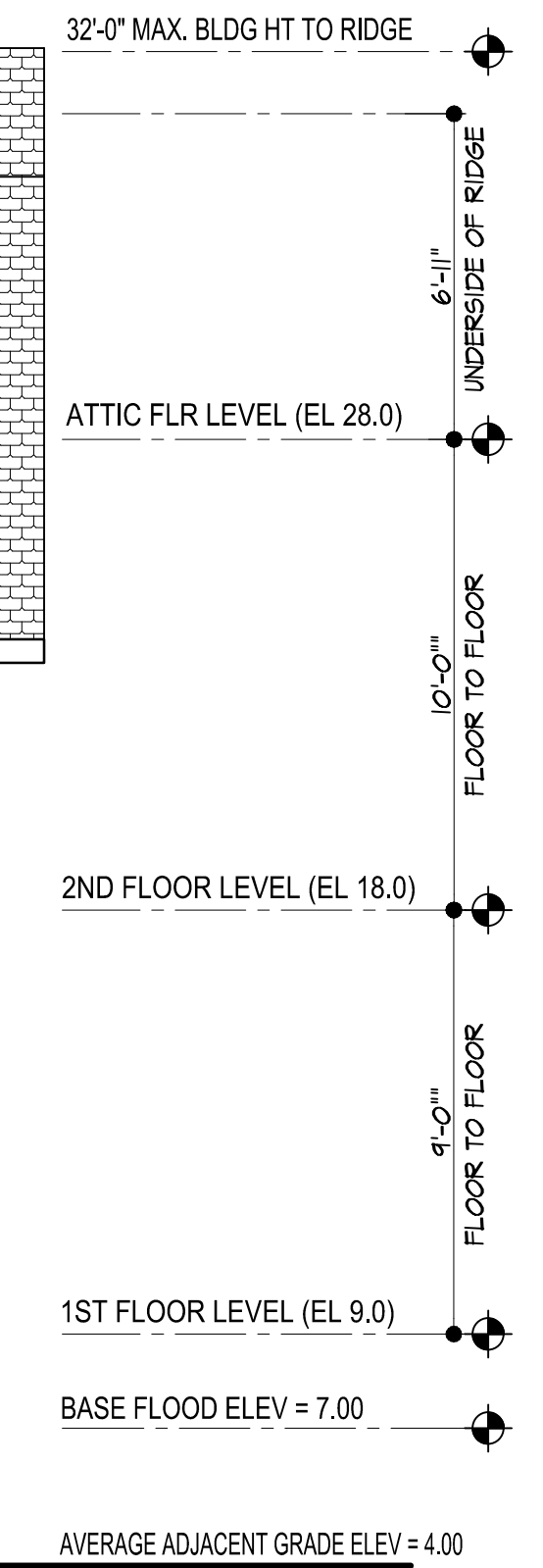
PROPOSED RIGHT SIDE ELEVATION

scale: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

scale: 1/4" = 1'-0"



REVISIONS:

MINKLER
 ARCHITECTURE & DESIGN

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PROJECT: ADDITIONS AND ALTERATIONS FOR:

MARIO AND LISA BATISTA

300 WEST 19TH STREET
 BOROUGH OF SHIP BOTTOM, OCEAN COUNTY, NEW JERSEY

A. VINCENT MINKLER

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VAR1-3
 SHEET 3 OF 3