

NOTICE OF COMPLETENESS  
BOROUGH OF SHIP BOTTOM  
OFFICE OF LAND USE BOARD ENGINEER



**OWEN,  
LITTLE  
& ASSOCIATES  
INC.**

Engineers  
Planners  
Surveyors  
GIS Specialists

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June 27, 2024

Sara Dela Cruz, Secretary  
Ship Bottom Land Use Board  
[sdelacruz@shipbottom.org](mailto:sdelacruz@shipbottom.org)

Joseph Coronato, Esq.  
Ship Bottom Land Use Board  
[joesr@coronatolaw.com](mailto:joesr@coronatolaw.com)

<b>Re: Applicant:</b>	<b>Mario &amp; Lisa Batista</b>
<b>Block(s):</b>	<b>50</b>
<b>Lot(s):</b>	<b>1</b>
<b>Address:</b>	<b>300 W. 19<sup>th</sup> Street</b>
<b>Type of Application:</b>	<b>Bulk Variance Application</b>
<b>Docket No.:</b>	<b>2024-09</b>
<b>OLA File No.:</b>	<b>SBLU-24-BATISTA</b>

Dear Ms. Dela Cruz and Mr. Coronato:

Our office is in receipt of the following for review as it relates to the above-referenced application:

- A. Plot Plan for an Attic Addition with Variance, One (1) Sheet, prepared by Morgan Engineering & Surveying, signed by Donna M. Bullock, PE, dated 12/7/23 and last revised 4/19/24.
- B. Architectural Floorplans and Elevations, Three (3) Sheets, prepared by Minkler Architecture & Design, unsigned and dated 04/12/2024.

Based on this review, the following variances and existing non-conforming conditions exist:

- 1. **Zoning** – The subject site lies within the R-2 Single Family Residential District. Our review of the plans indicates the following:
  - a) **Minimum Front Yard Setback 16.28.010(D)** – Proposed Front Yard Setback to W. 19<sup>th</sup> Street is 14.8 FT where 15 FT is required. This is an expansion of a non-conforming front yard setback, and a Variance is required.

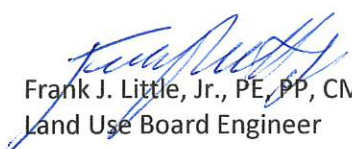
b)

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- c) **Minimum Front Yard Setback 16.28.010(D)** – Proposed Front Yard Setback to Barnegat Avenue is 5.1 FT where 15 FT is required. This is an expansion of a non-conforming front yard setback, and a Variance is required.
- d) **Minimum Side Yard Setback (on a corner lot) 16.08.020** – A corner lot shall have 2 front yard, one side yard and one rear yard per the Borough Zoning definition, therefore, here, the side yard setback on this corner lot shall be 10 FT where the proposed side yard setback is 4.5 FT. This is an expansion of a non-conforming side yard setback, and a Variance is required.
- e) **Maximum Building Coverage 16.28.010(D)** – The existing and proposed building coverage is 43.1% where 35% is the maximum permitted. This is an existing non-conforming condition as the proposed additions will not extend beyond the existing footprint of the dwelling.

Our office recommends this application be deemed Technically Complete as it relates to the Borough's Engineering Requirements. Pending Administrative and legal review of the application and completeness of the same, this application can be placed on the next available agenda of the Ship Bottom Borough Land Use Board.

Very truly yours,

  
Frank J. Little, Jr., PE, PP, CME  
Land Use Board Engineer

FJL:ASI:caa

Cc: [James Raban, Esq. \(jraban@regraban.com\)](mailto:jraban@regraban.com)  
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