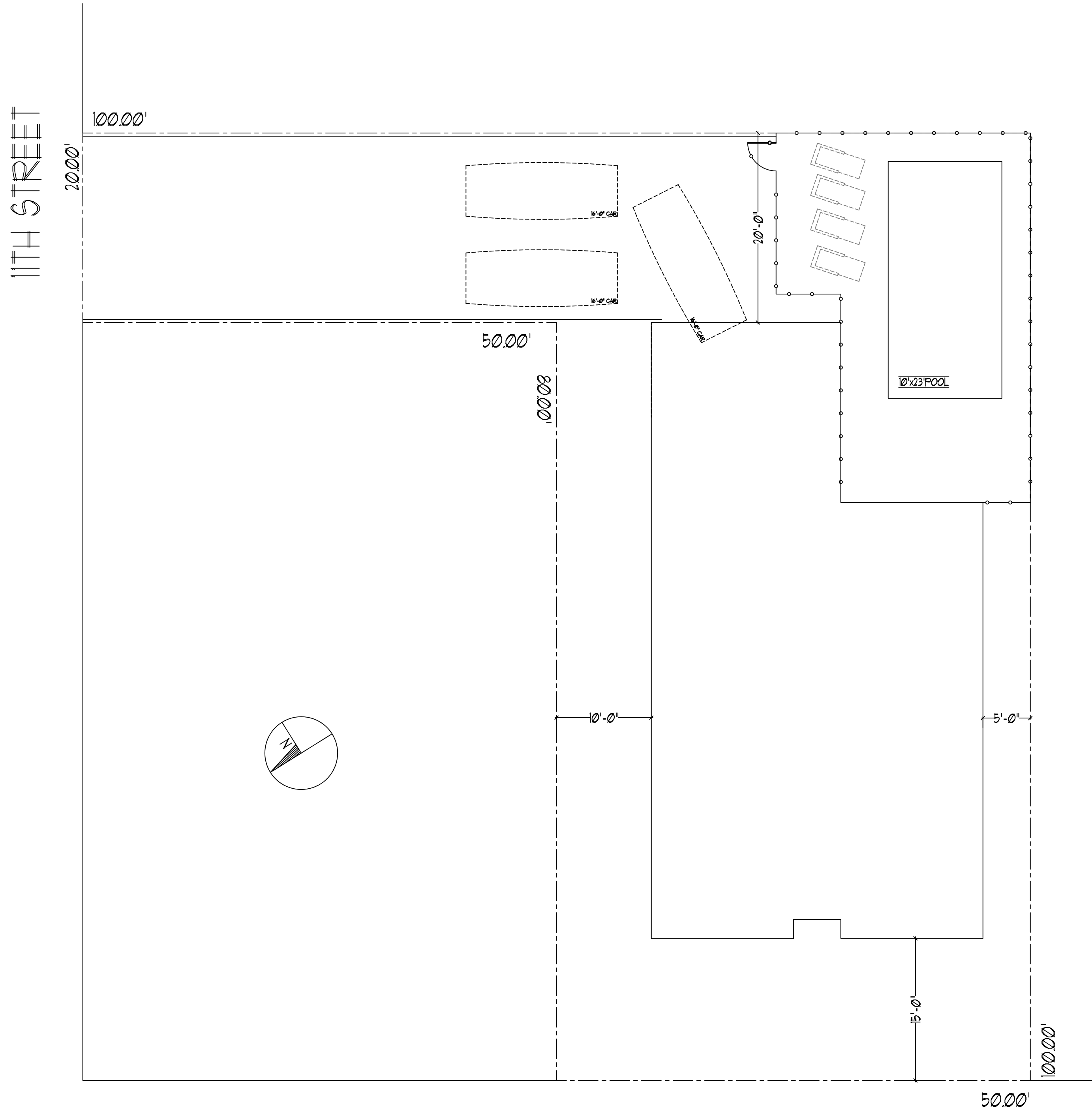




1 SITE PLAN
1/8" = 1'-0"

OWNER/CLIENT: KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 81, LOT 8.02
SHIP BOTTOM, NJ

ARCHITECT: MUSGNUG & ASSOCIATES ARCHITECTS
BARNEGAT LIGHT, N.J.

SHEET INDEX

- TS-1 TITLE SHEET / SITE PLAN
- A-1 PILING / GROUND FLOOR PLAN
- A-2 FIRST FLOOR FRAMING & PLAN
- A-3 SECOND FLOOR FRAMING & PLAN
- A-4 ROOF FRAMING & PLAN
- A-5 ELEVATIONS
- A-6 ELEVATIONS
- A-7 SECTIONS
- A-8 DETAILS

GENERAL NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.
- ANY CONFLICT OR DISCREPANCY WHATSOEVER BETWEEN DRAWINGS, SPECIFICATIONS AND OR EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE DRAWINGS ARE AND REMAIN THE PROPERTY OF THE ARCHITECT AND ARE INTENDED FOR THE USE ON THIS SITE ONLY AND MAY NOT BE USED OR REPRODUCED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
- ALL SHORING, SCAFFOLDING, ETC. SHALL BE PERFORMED IN AN ORDERLY AND CAREFUL MANNER IN STRICT ACCORDANCE WITH OSHA REGULATIONS AND ACCEPTED SAFE CONSTRUCTION PRACTICES.
- THE GENERAL CONTRACTOR SHALL REQUIRE ALL SUCCESSFUL BIDDERS TO FURNISH COPIES OF INSURANCE CERTIFICATES IN EFFECT AS EVIDENCE THAT THIS WORK IS FULLY COVERED BY WORKMAN'S COMPENSATION INSURANCE, PUBLIC LIABILITY AND PROPERTY DAMAGE.
- ALL PLUMBING SHALL CONFORM TO NATIONAL STANDARD PLUMBING CODE, LATEST EDITION.
- ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE, LATEST EDITION.
- ALL MECHANICAL WORK TO BE PERFORMED ACCORDING TO ASHRAE STANDARDS.

TYPICAL NOTES

- N.T.S. NOT TO SCALE
- V.I.F. VERIFY IN FIELD
- UNO. UNLESS NOTED OTHERWISE
- ⓔ INDICATES EGRESS WINDOW REQUIRED
- Ⓢ INDICATES TEMPERED GLASS REQUIRED
- PROVIDE (2) 2x10 HEADERS AT ALL TRIMMED OPENINGS & DOORS UNLESS NOTED OTHERWISE
- PROVIDE DOUBLE FLOOR JOISTS BENEATH ALL PARALLEL WALLS.
- PROVIDE SOLID WOOD BLOCKING AS REQUIRED BENEATH ALL POINT LOADS.

ELECTRICAL SCHEDULE

- OUTLET (DUPLEX RECEPTACLE)
- OUTLET (QUADRUPLUX RECEPTACLE)
- GROUND FAULT INTERRUPT
- FAN / LIGHT
- RECESSED
- EYEBALL
- CAN LIGHT
- EXHAUST FAN
- FLUORESCENT
- CEILING MOUNTED
- CARBON MONOXIDE DETECTOR
- WALL MOUNTED FLOODLIGHTS
- SMOKE DETECTOR
- WALL SCONCE
- SWITCH
- 3-WAY SWITCH
- CEILING FAN JUNCTION BOX & OUTLET W/ SWITCH CONTROL
- WEATHERPROOF OUTLET
- HEAT LAMP

BUILDING DATA

FIRST FLOOR	1923 SF.
SECOND FLOOR	1650 SF.
DECK	330 SF.
GARAGE AREA	1511 SF.
TOTAL BUILDING VOLUME	34,944 CF.
BUILDING HEIGHT	132'-0" (MAX)
LOT AREA	6,000 SF.
ALLOWABLE LOT COVERAGE	2,100 SF. (35%)
ACTUAL LOT COVERAGE	1,980 SF.
CONSTRUCTION CLASS	5 B
USE GROUP	R-5
BUILDING CODE	2018 IRC
FLOOD ZONE	AE 8



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REVISIONS:		
NO.	DATE	REMARKS
2	12/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32'
DRAWN		
CHECKED		RFM
DATE		3/07/2022
SCALE		AS SHOWN
PROJECT NO.		

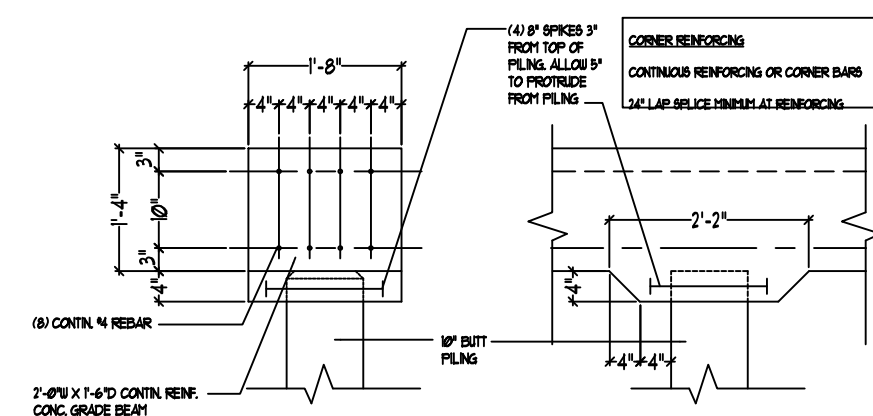
ROBERT P. MUSGNUG NJ AI 12612

KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 81, LOT 8.02
SHIP BOTTOM, NJ

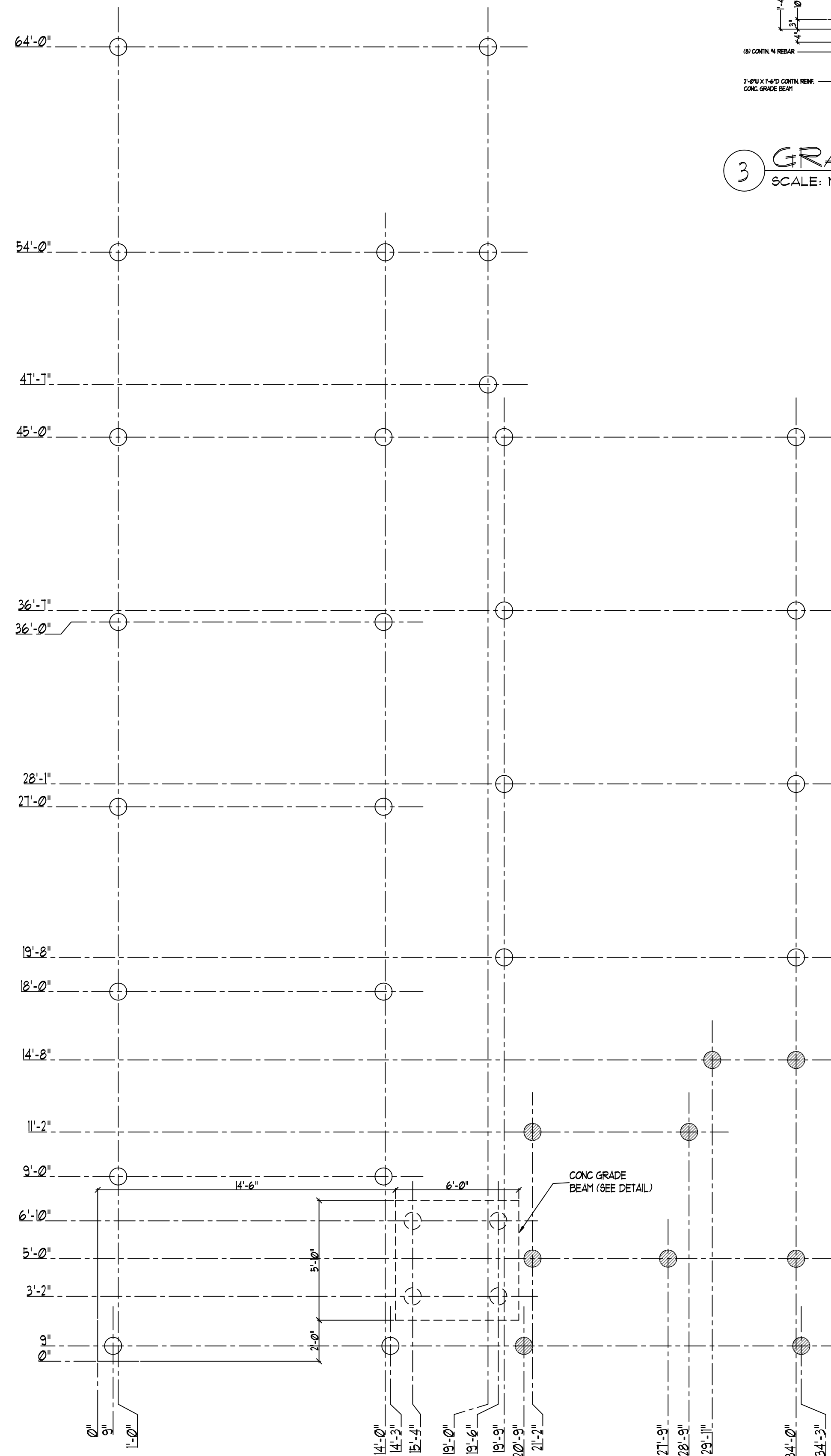
TITLE SHEET
SITE PLAN

TS-1

NOTE:
SEE ELEVATIONS FOR NOTES & DIMENSIONS REGARDING WINDOW
HD HT & ROUGH OPENING LOCATIONS



3 GRADE BEAM DETAIL
SCALE: N.T.S.



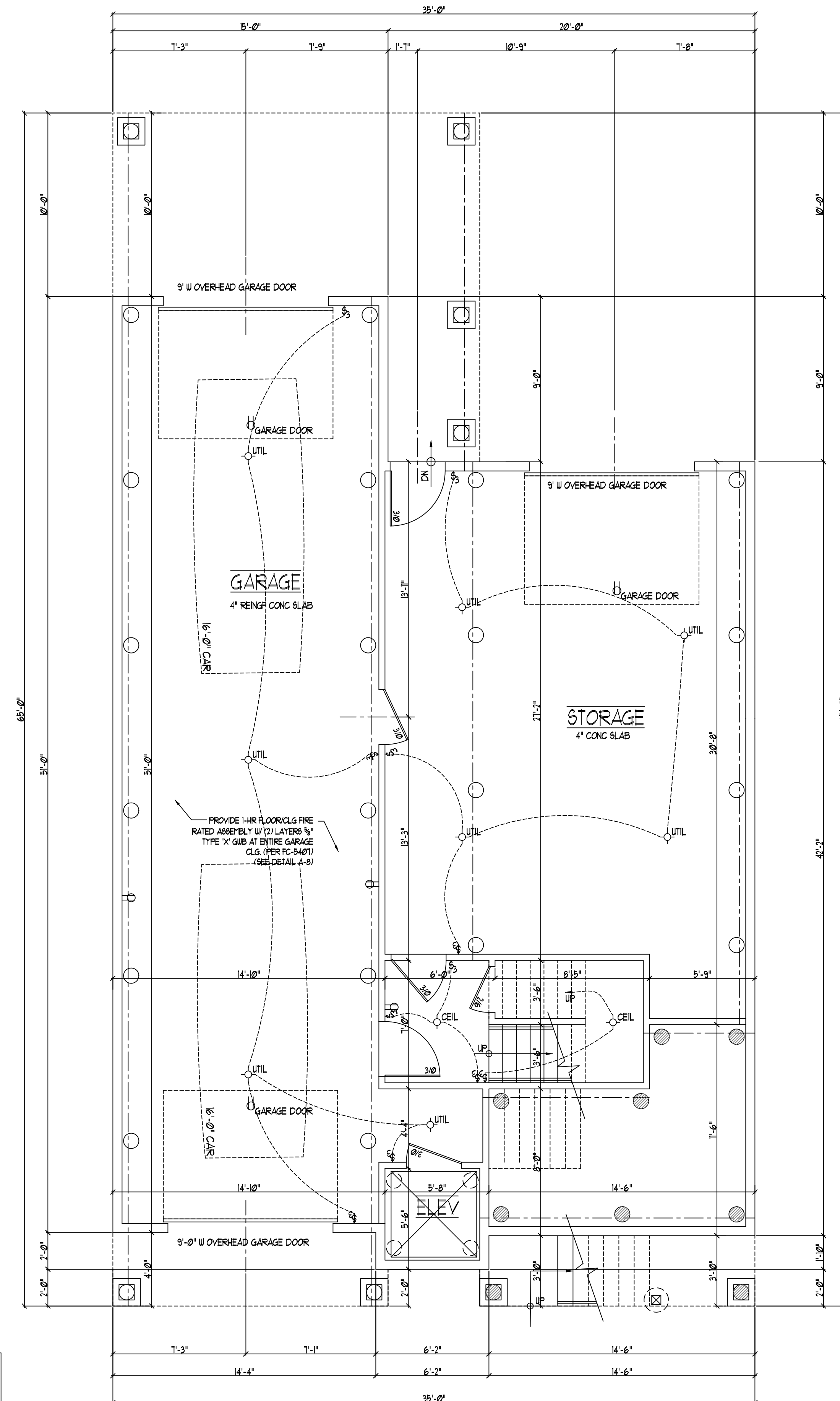
① PILING PLAN
SCALE: 1/4" = 1'-0"

NOTE:
ALL PILES TO BE 10" DIA MIN
DRIVEN TO 10 TON RESISTANCE

-  PILING TO GRADE
 PILING TO EL 11.0'
 PILING TO EL 15.0'

NOTE:
FIELD VERIFY ALL DIMENSIONS BEFORE
CONSTRUCTION. NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

- NOTES:
1. ① INDICATES EGRESS WINDOW REQUIRED.
 2. ① INDICATES TINTED GLASS REQUIRED.
 3. PROVIDE (2)X10 HEADERS AT ALL TRIMMED OPENINGS & DOORS UNLESS NOTED OTHERWISE.
 4. PROVIDE DOUBLE FLOOR JOISTS BENEATH ALL PARALLEL WALLS.
 5. PROVIDE (2) 2X4 STUDS AT EACH END OF ALL HDRS AND MICRO-LAM BEAMS.
 6. PROVIDE SOLID BLOCKING AS REQ'D BENEATH ALL POINT LOADS.



2 GROUND FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



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REVISIONS:		
NO.	DATE	REMARKS
2	7/26/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32'
DRAIN		
CHECKED		RFM
DATE	9/07/2022	
SCALE	AS SHOWN	
PROJECT NO.		

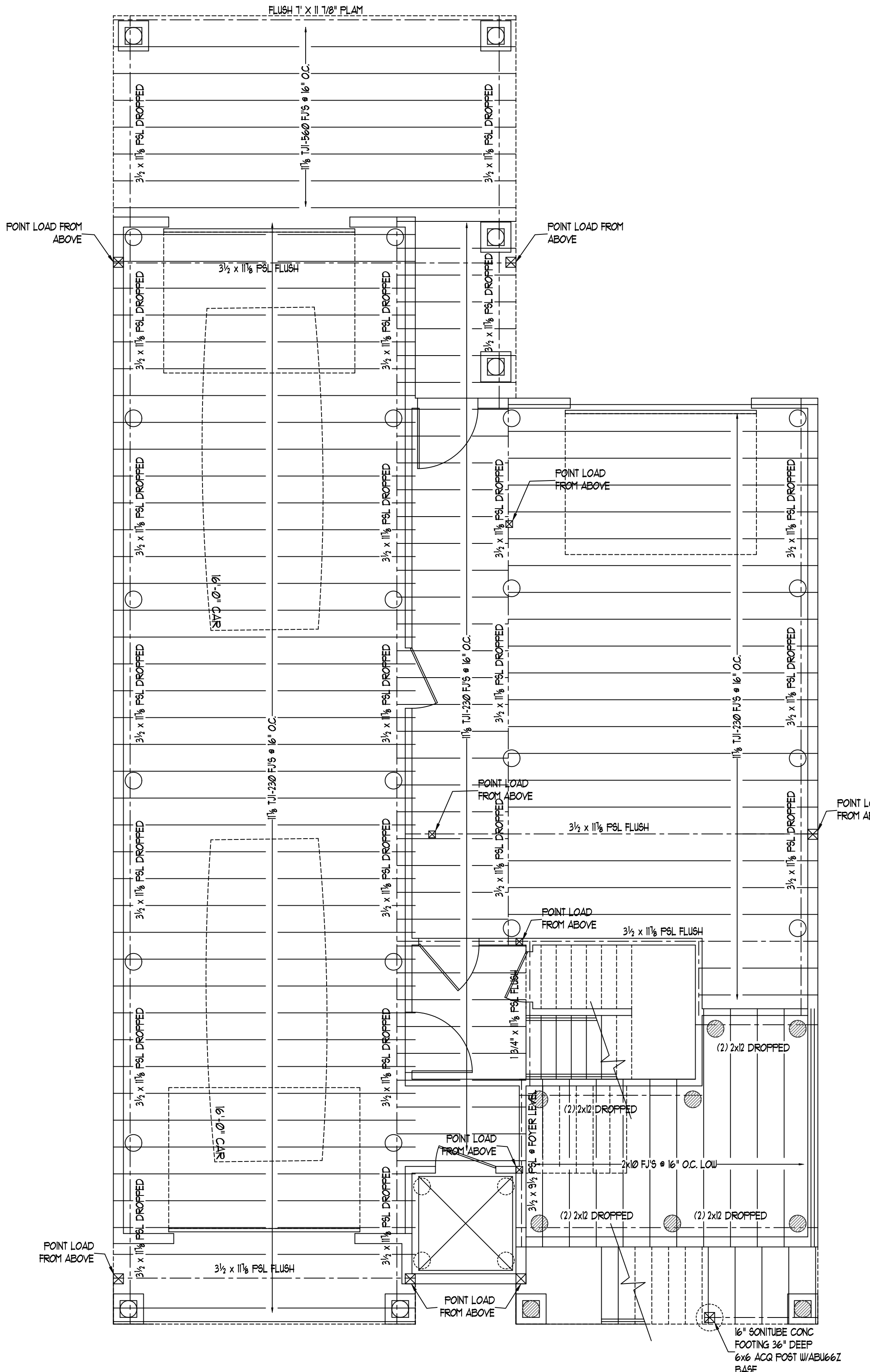
ROBERT P. MUSGNUG NJ AI 12612

KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 87, LOT 8.02
SHIP BOTTOM, NJ

GROUND FLOOR
PILING PLAN

A-1

NOTE:
SEE ELEVATIONS FOR NOTES & DIMENSIONS REGARDING WINDOW
HD HT & ROUGH OPENING LOCATIONS

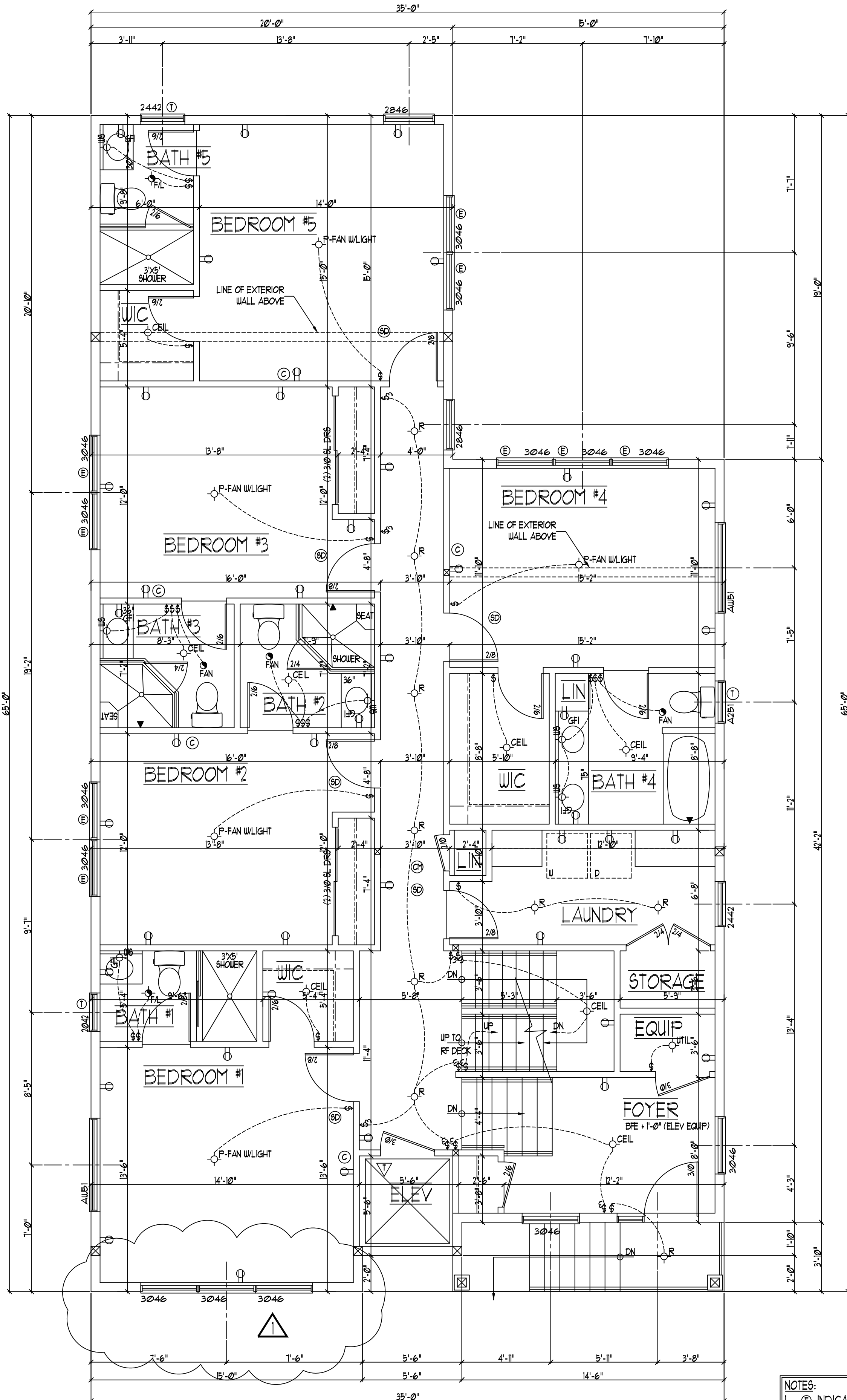


① FIRST FLOOR FRAMING PLAN
SCALE: $\frac{1}{4}'' = 1'-0''$

NOTE:
MIN (3) 2x STUDS BENEAT
ALL POINT LOADS (TYP)

NOTE:
DOUBLE FLOOR JOIST'S BENEATH ALL
PARALLEL WALLS (TYP)

NOTE:
FIELD VERIFY ALL DIMENSIONS BEFORE
CONSTRUCTION. NOTIFY ARCHITECT OF ANY
DISCREPANCIES.



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTES:

1. ⑥ INDICATES EGRESS WINDOW REQUIRED.
2. ⑦ INDICATES TINTED GLASS REQUIRED.
3. PROVIDE (2) 2X10 HEADERS AT ALL TRIMMED OPENINGS & DOORS UNLESS NOTED OTHERWISE.
4. PROVIDE DOUBLE FLOOR JOISTS BENEATH ALL PARALLEL WALLS.
5. PROVIDE (2) 2X4 STUDS AT EACH END OF ALL HDRS AND MICRO-LAM BEAMS.
6. PROVIDE SOLID BLOCKING AS REQ'D BENEATH ALL POINT LOADS.

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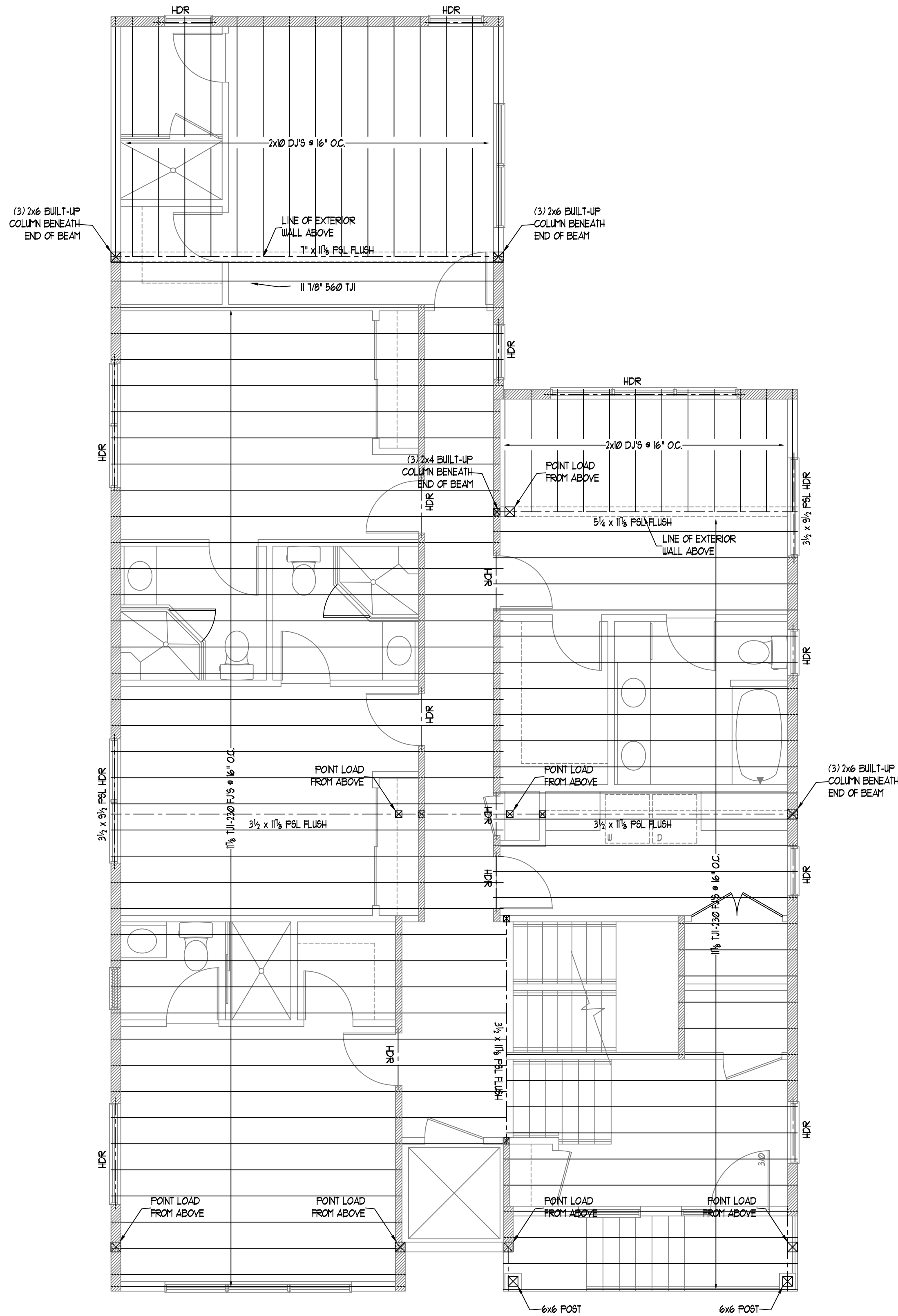
REVISIONS:		
NO.	DATE	REMARKS
2	12/6/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32
DRAIN		
CHECKED		RPM
DATE		9/07/2022
SCALE		AS SHOWN
PROJECT NO.		

ROBERT P. MUSGNUG NJ AI 126

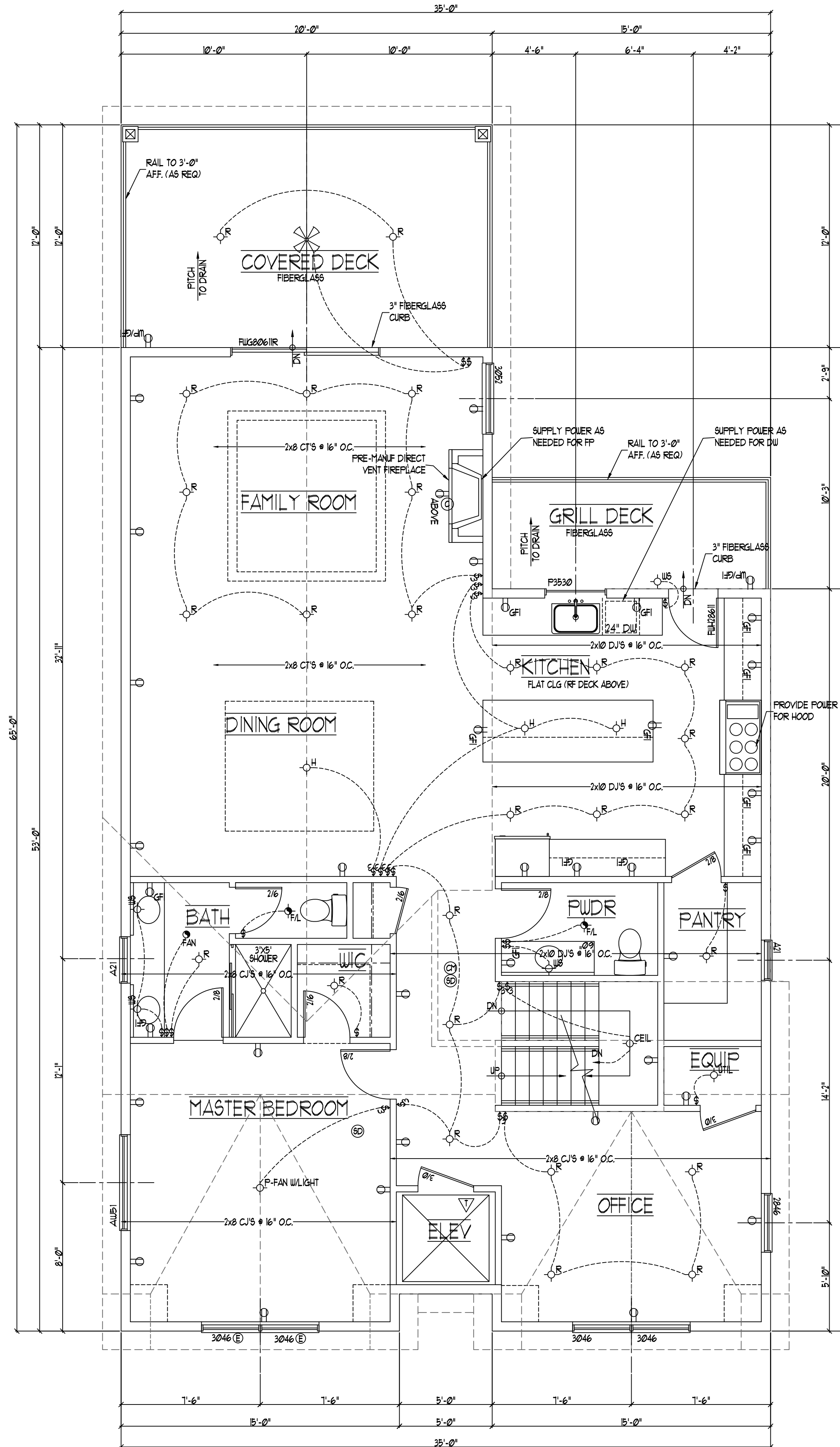
KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 87, LOT 8.02
SHIP BOTTOM, NJ

FIRST FLOOR
FRAMING & PLAN

NOTE:
SEE ELEVATIONS FOR NOTES & DIMENSIONS REGARDING WINDOW
HD HT & ROUGH OPENING LOCATIONS



NOTE:
INDICATES LOAD BEARING



- NOTES:
- ⑥ INDICATES EGRESS WINDOW REQUIRED.
 - ⑦ INDICATES TEMPERED GLASS REQUIRED.
 - PROVIDE (2) 2x10 HEADERS AT ALL TRIMMED OPENINGS & DOORS UNLESS NOTED OTHERWISE.
 - PROVIDE DOUBLE FLOOR JOISTS BENEATH ALL PARALLEL WALLS.
 - PROVIDE (2) 2x4 STUDS AT EACH END OF ALL HDRS AND MICRO-LAM BEAMS.
 - PROVIDE SOLID BLOCKING AS REQ'D BENEATH ALL POINT LOADS.



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REVISIONS:		
NO.	DATE	REMARKS
2	1/26/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32'
DRAWN		
CHECKED		RFM
DATE		3/07/2022
SCALE		AS SHOWN
PROJECT NO.		

ROBERT P. MUSGNUG NJ AI 12612

KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 87, LOT 802
SHIP BOTTOM, NJ

SECOND FLOOR
FRAMING & PLAN

A-3



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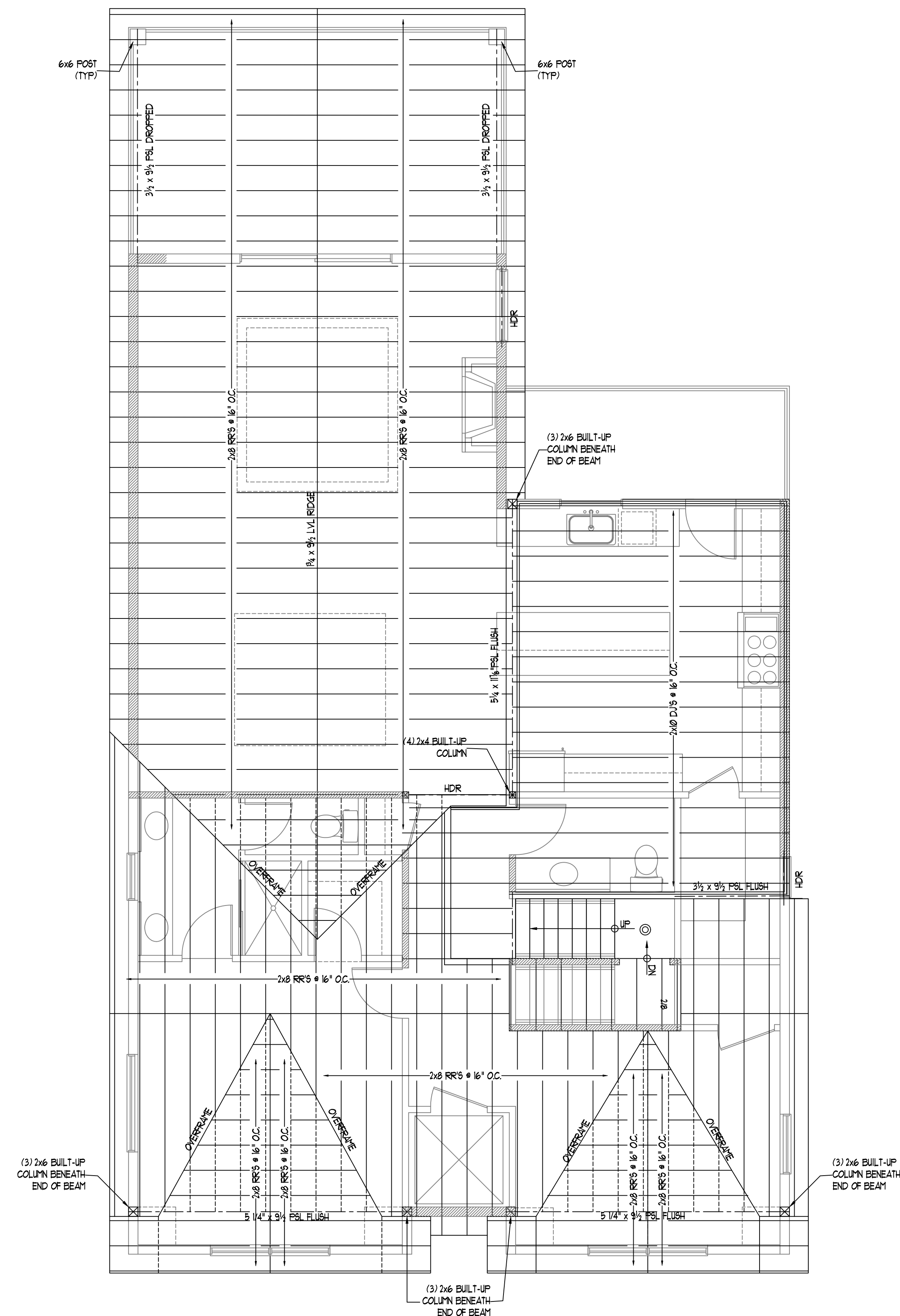
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NO.	DATE	REMARKS
2	12/6/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32'
DRAIN		
CHECKED		RFM
DATE	9/07/2022	
SCALE		AS SHOWN
PROJECT NO.		

ROBERT P. MUSGNUG NJ AI 12612

KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 87, LOT 8.02
SHIP BOTTOM, NJ

ROOF FRAMING & PLAN

A-4



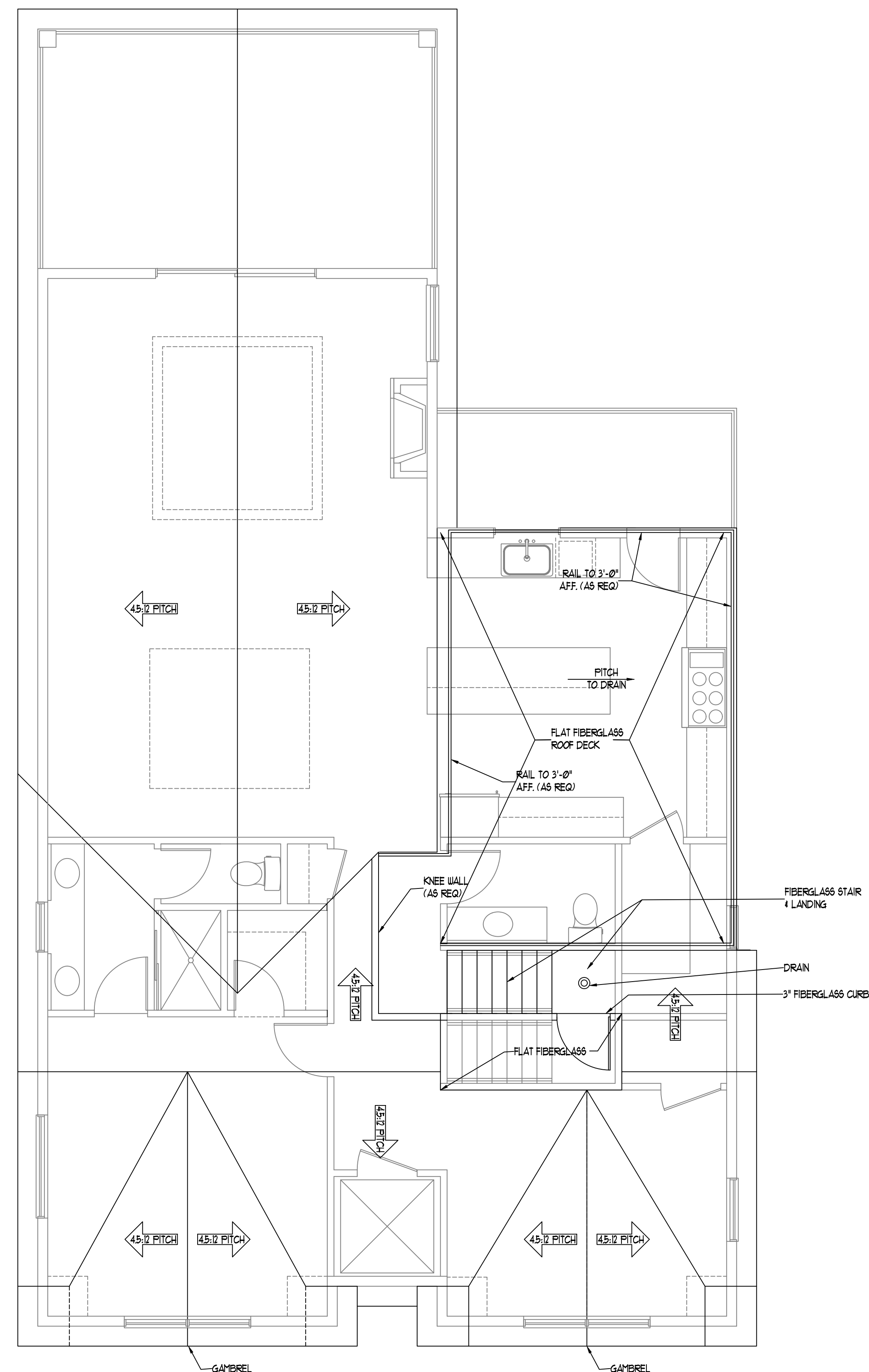
1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTE:

	INDICATES LOAD BEARING
---	------------------------

NOTE:
DOUBLE FLOOR JOIST'S BENEATH ALL
PARALLEL WALLS (TYP)

NOTE:
FIELD VERIFY ALL DIMENSIONS BEFORE
CONSTRUCTION. NOTIFY ARCHITECT OF ANY
DISCREPANCIES.

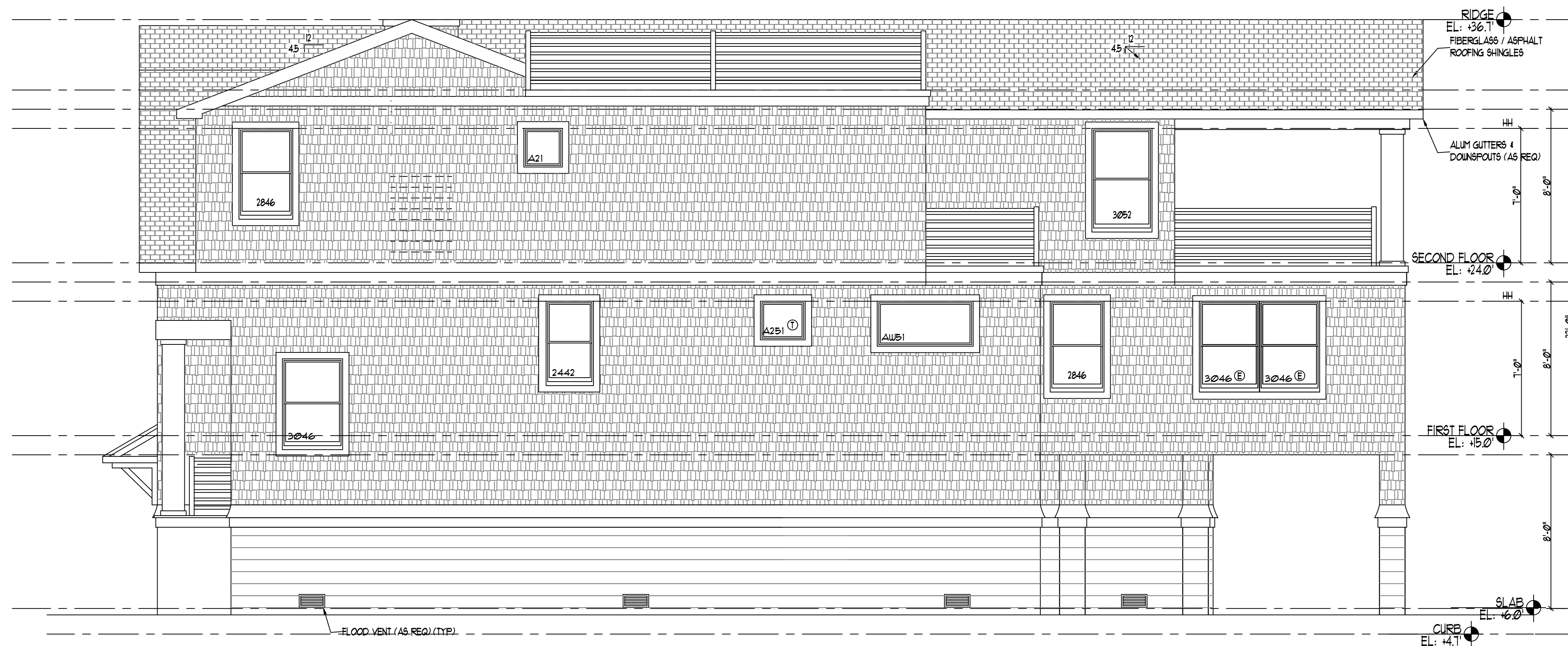


2 ROOF PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

- NOTES:**
1. ⑥ INDICATES EGRESS WINDOW REQUIRED.
 2. ① INDICATES TINTED GLASS REQUIRED.
 3. PROVIDE (2) 2X10 HEADERS AT ALL TRIMMED OPENINGS & DOORS UNLESS NOTED OTHERWISE.
 4. PROVIDE DOUBLE FLOOR JOISTS BENEATH ALL PARALLEL WALLS.
 5. PROVIDE (2) 2X4 STUDS AT EACH END OF ALL HDRS AND MICRO-LAM BEAMS.
 6. PROVIDE SOLID BLOCKING AS REQ'D BENEATH ALL POINT LOADS.



① WEST ELEVATION
SCALE: 1/4" = 1'-0"



② SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

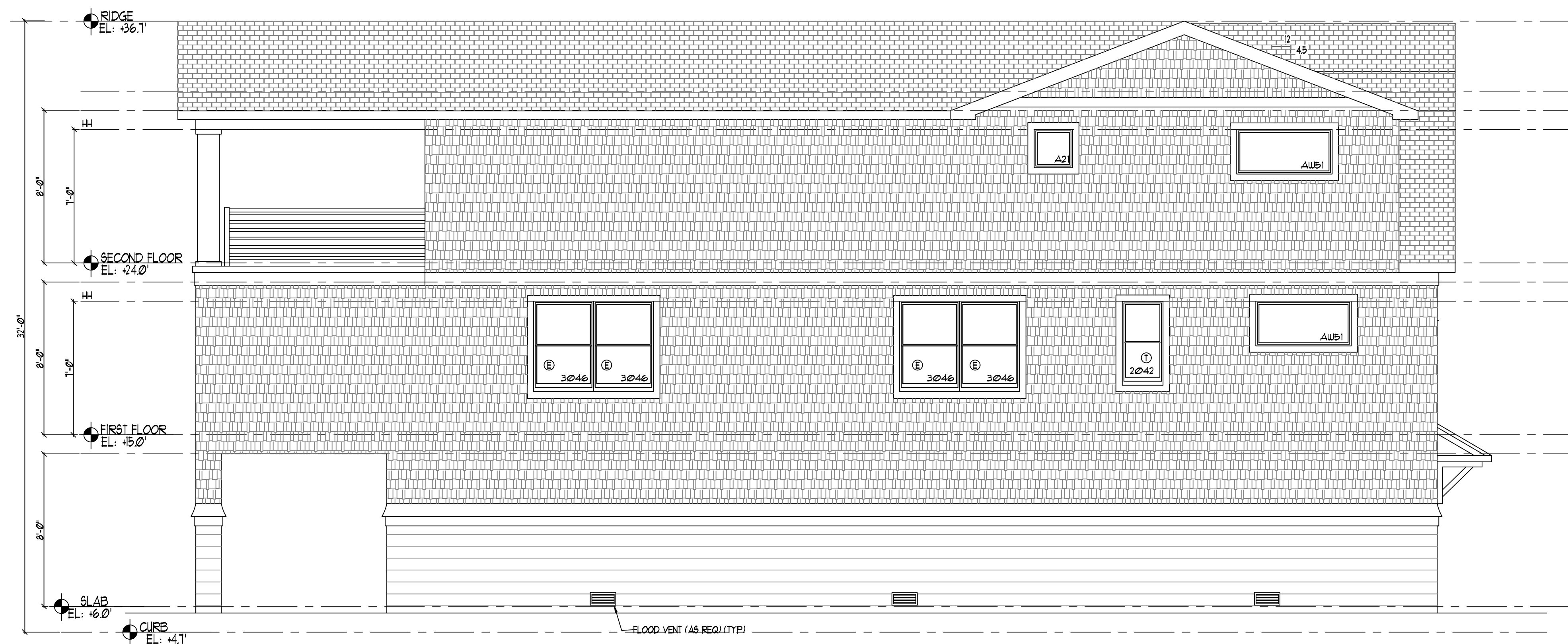
REVISIONS:		
NO.	DATE	REMARKS
2	1/26/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32'
DRAWN		
CHECKED		RPM
DATE		3/07/2022
SCALE		AS SHOWN
PROJECT NO.		

ROBERT P. MUSGNUG NJ AI 12612

KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 81, LOT 8.02
SHIP BOTTOM, NJ
ELEVATIONS



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

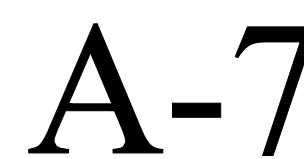


2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS:		
NO.	DATE	REMARKS
2	1/26/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32'
DRAWN		
CHECKED		RFM
DATE		3/07/2022
SCALE		AS SHOWN
PROJECT NO.		

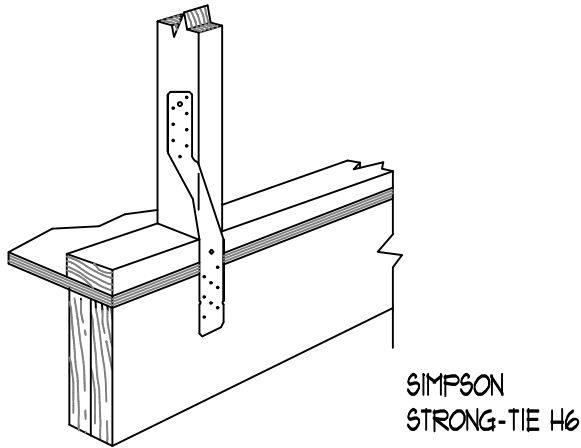
1. ANCHOR BOLTS OR OTHER APPROVED METAL STRAP ANCHORS SHALL BE IMBEDDED NOT LESS THAN 1 INCHES IN GROUTED UNIT MASONRY. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF PLATE AND SHALL BE LOCATED 12 INCHES FROM THE END OF EACH SECTION OF PLATE, WITH INTERMEDIATE BOLTS SPACED A MAXIMUM OF 6 FEET ON CENTER AS PER CODE.
2. PROVIDE ALL FIRESTOPPING AND DRAFTSTOPPING AS PER CODE.
3. PROVIDE AN ATTIC ACCESS OPENING, NOT LESS THAN 22 INCHES X 30 INCHES INTO ANY ATTIC HAVING A CLEAR HEIGHT OVER 30 INCHES AS PER CODE.
4. ALL CONTAMINANTS SHALL BE EXHAUSTED TO THE OUTDOOR AIR (VIA FANS AND VENTS) AS PER CODE (EXAMPLE DRYER VENTS).
5. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED ZINC OR GALVANIZED STAINLESS STEEL ETC. (TYPICAL OF ANCHOR BOLTS, SCREWS, NAILS, AND BOLTS).
6. ALL SMOKE DETECTORS ARE TO BE INTERCONNECTED WITH BATTERY BACKUP.
7. PRESUMPTIVE SOIL BEARING CAPACITY IS 3000 PSF ON UNDISTURBED SOIL. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL. THE BOTTOM OF FOOTINGS SHALL BE AT LEAST 3 FEET BELOW FINISHED GRADE. THE ARCHITECT IS TO BE ADVISED OF CONDITIONS OTHER THAN PRESUMED ABOVE.
8. ERRORS AND OMISSIONS WHICH MAY OCCUR IN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. THE CONTRACTOR AND THEIR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
10. ALL CONSTRUCTION IS TO CONFORM TO THE NEW JERSEY UNIFORM CONSTRUCTION CODE, THE 2015 IRC BUILDING CODE, AND ALL OTHER APPLICABLE SUBCODES AND LOCAL ORDINANCES.

1. Floor joists -- 11 3/8" TJI FLE-MANUF @ 16" O.C.
2. Ceiling joists -- 2" X 8" Hem-fir #2 @ 16" O.C. up to 16' spans
3. Roof Rafters -- 2" X 8" Hem-fir #2 @ 16" O.C. up to 22' diagonal lengths
4. Exterior Walls -- 2" X 4" KD Hem - fir #2 studs @ 16" O.C.
6. Subfloor -- 3/4" T & G plywood with glue and nails
7. Sheathing -- 1/2" CDX plywood at exterior walls and 1/2" plywood for roof
8. Interior Walls -- 2" X 4" KD Hem - fir #2 studs @ 16" O.C.
9. Deck Joists -- 2" X 10" KD Hem - fir #2 @ 16" O.C.
10. Sill Plates -- 2"X6" treated Hem - fir on 55# RR
11. Structural Beams (Lam) -- Engineered Lumber (see manuf specs)



THE FOLLOWING LOADS WERE USED IN THE DESIGN:

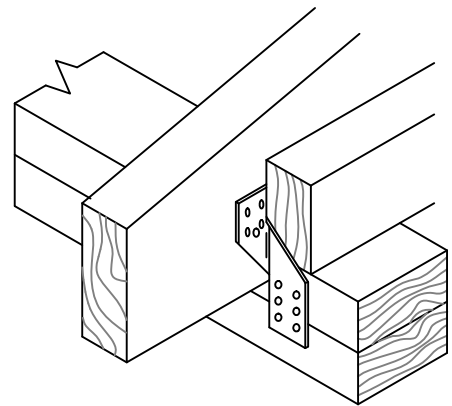
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD	20 PSF
GROUND SNOW LOAD	14 PSF
FLAT - ROOF SNOW LOAD	0.1
SNOW EXPOSURE FACTOR	1.00
FLOOR LIVE LOADS	
LIVING AREAS	40 PSF
SLEEPING AREAS	30 PSF
WIND LOAD	
BASIC WIND SPEED (3 SEC GUST)	115 MPH
IMPORTANCE FACTOR	1.00
WIND EXPOSURE	C
ENCLOSURE	BOTH FULLY AND PARTIALLY ENCLOSED CONDITIONS WERE ANALYZED
EARTHQUAKE DESIGN	
PEAK VELOCITY - RELATED ACCEL.	0.09
PEAK ACCELERATION	0.08
SEISMIC HAZARD GROUP	I
SEISMIC PERFORMANCE CATEGORY	B
SOIL PROFILE TYPE	12
BASIC STRUCTURAL SYSTEM	LOADBEARING WALL SYS.
SEISMIC-RESISTING SYSTEM	LIGHT FRAMED SHEAR PANELS
RESPONSE MODIFICATION FACTOR	6
DEFLECTION AMPLIFICATION FACTOR	4 1/2
ANALYSIS PROCEDURE USED	EQUIVALENT LATERAL FORCE PROCEDURE



LOCATE @ 4'-0" O.C. AT ALL EXTERIOR WALLS, ALIGN W/ C516 @ H6 ABOVE

4 STUD TO RIM CONNECTION

1 1/2" = 1'-0" UPLIFT DETAIL

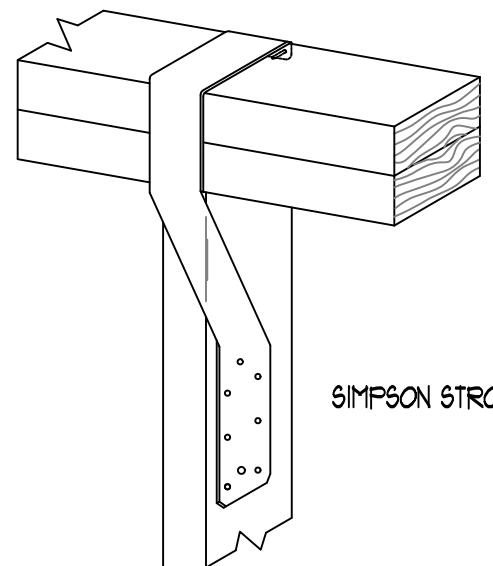


SIMPSON STRONG - TIE H25

1 RAFTER TO PLATE CONNECTION

1 1/2" = 1'-0"

TYP. EACH RAFTER TO PLATE UPLIFT DETAIL



SIMPSON STRONG - TIE H6

LOCATE @ 4'-0" O.C. AT ALL EXTERIOR WALLS

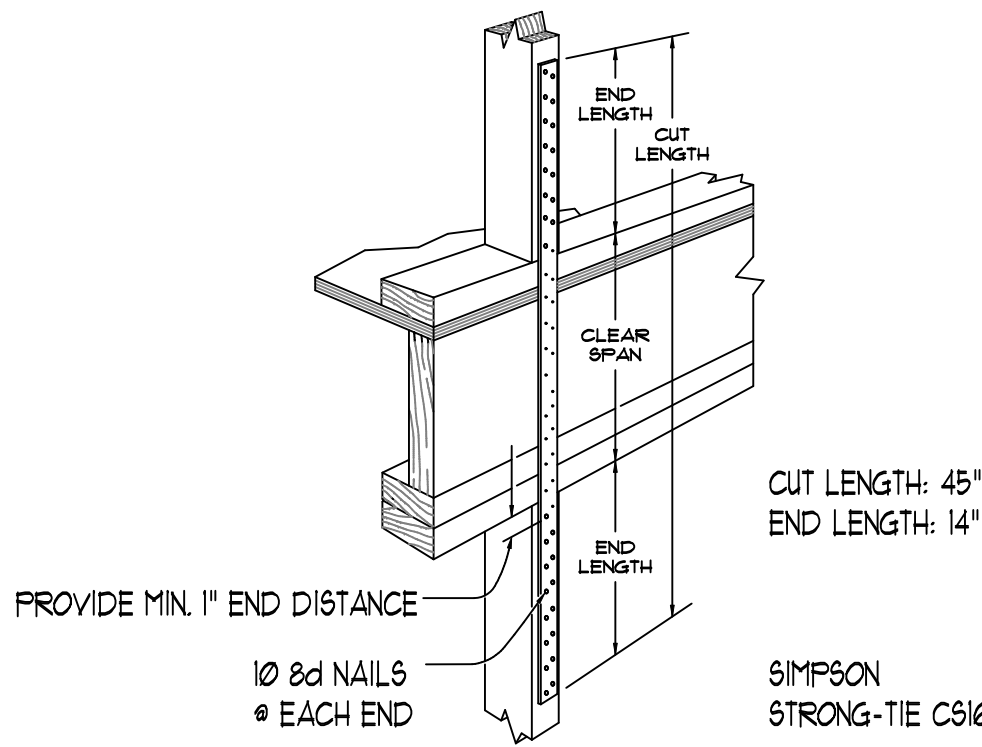
2 T.O.P. TO STUD

1 1/2" = 1'-0"

UPLIFT DETAIL

BUILDING LUMBER SPECIFICATIONS

1. Floor Joists -- 11 1/2" TJI PRE-MANUF @ 16" O.C.
2. Ceiling Joists -- 2" X 8" Hem-fir #2 @ 16" O.C. up to 16' spans
3. Roof Rafters -- 2" X 8" Hem-fir #2 @ 16" O.C. up to 22' diagonal lengths
4. Exterior Walls -- 2" X 6" KD Hem - fir #2 studs @ 16" O.C.
6. Subfloor -- 3/4" T & G plywood with glue and nails
7. Sheathing -- 1/2" CDX plywood at exterior walls and 1/2" plywood for roof
8. Interior Walls -- 2" X 4" KD Hem - fir #2 studs @ 16" O.C.
9. Deck Joists -- 2" X 8" ACQ treated Hem - fir @ 16" O.C.
10. Sill Plates -- 2" X 6" treated Hem - fir on 55# RR
11. Structural Beams (Lam) -- Engineered Lumber (see manuf specs)



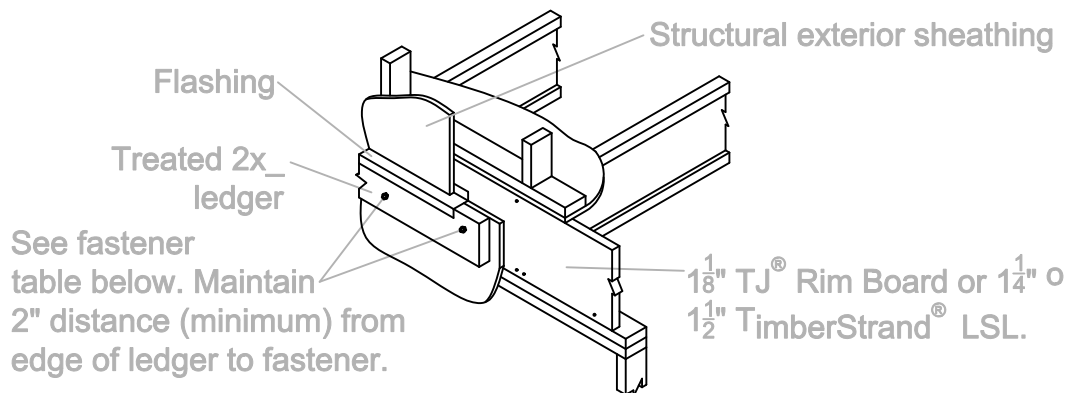
LOCATE @ 4'-0" O.C. AT ALL EXTERIOR WALLS
ALIGN W/ H6 ABOVE
IN-FILL STUDS AS NECESSARY FOR FLOOR TO FLOOR ALIGNMENT

3 STUD TO STUD STRAP

1 1/2" = 1'-0"

UPLIFT DETAIL

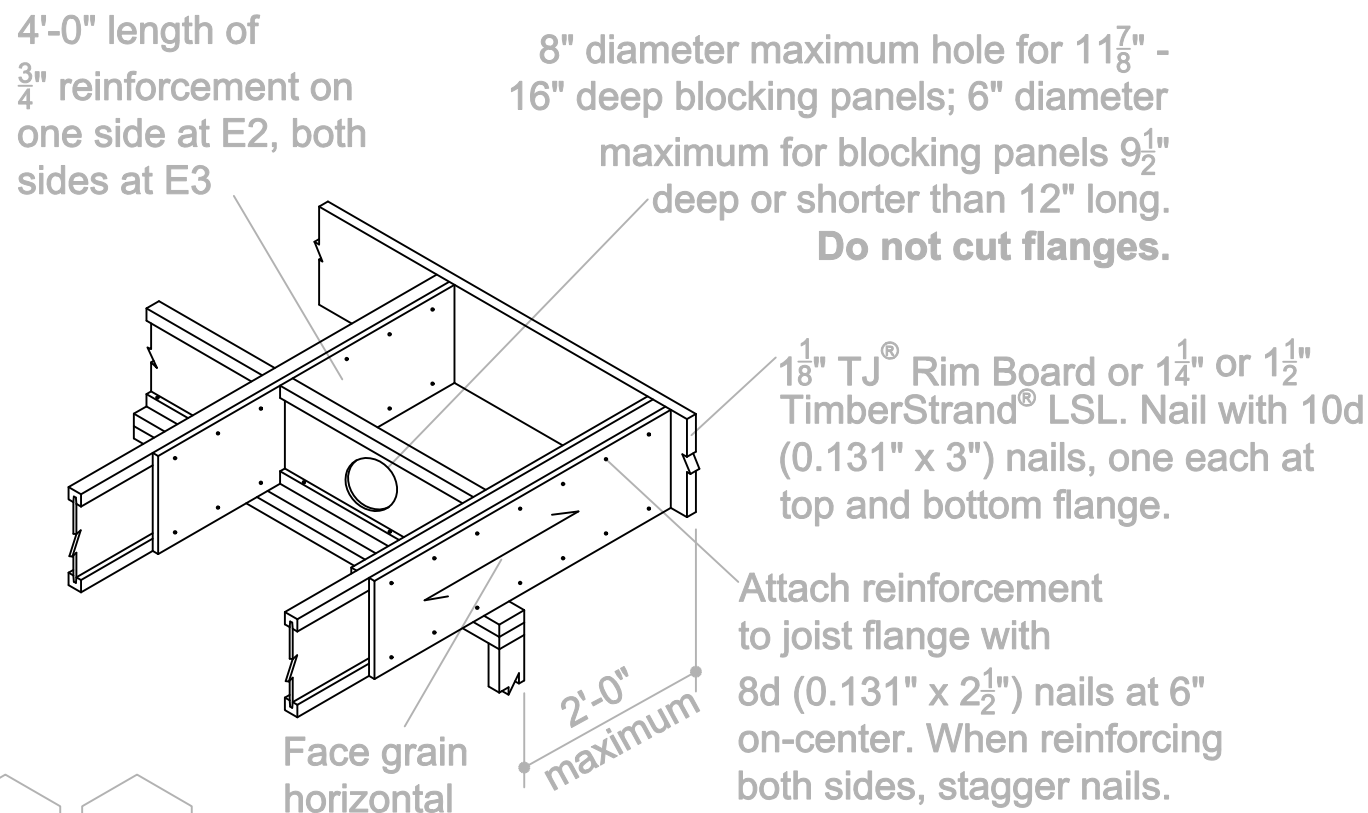
EXTERIOR DECK ATTACHMENT



Rim Board Material	Fastener Allowable Load ⁽²⁾ (lbs/bolt)		
	3/8" lag bolt	3/8" Through bolt	3/8" Through bolt with Air Space
1 1/2" TJ® Rim Board ⁽¹⁾	480	695	615 ⁽⁴⁾
1 1/2" TimberStrand® LSL	610	725	
1 1/2" TimberStrand® LSL	675	725	

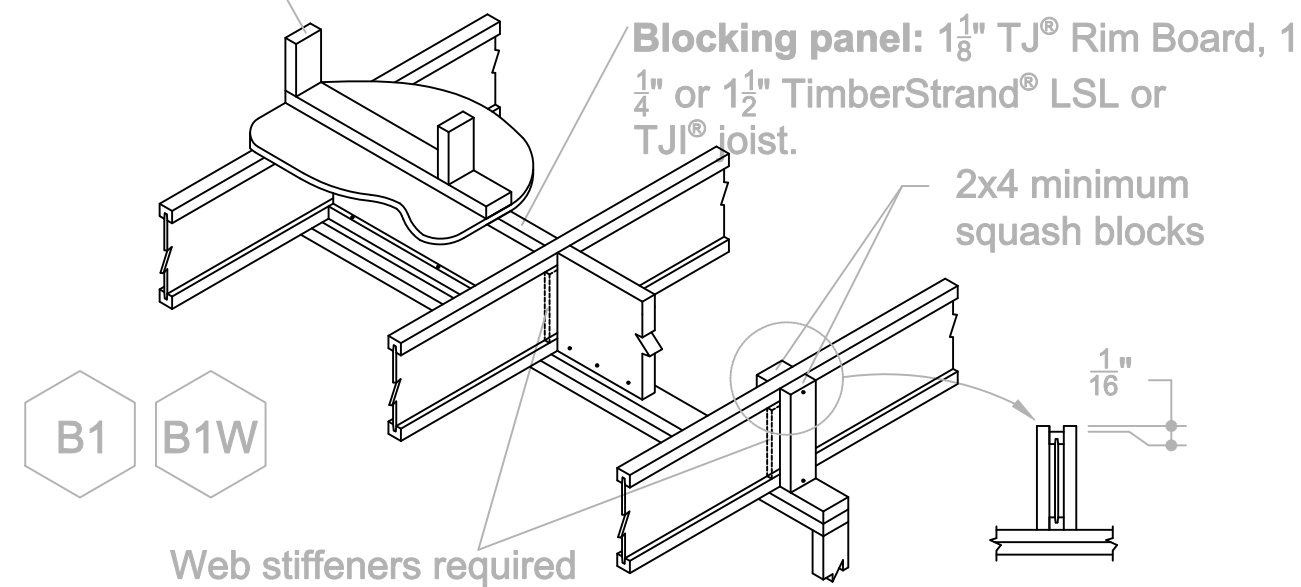
- (1) Corrosion-resistant fasteners required for wet-service applications.
(2) Allowable load determined in accordance with ASTM D7672.
(3) 1 1/2" TJ® Rim Board is allowed with joist depths <16" only.
(4) Maximum 1/2" shimmed air space.

CANTILEVER BRACING DETAIL



E2 E3

Load bearing or braced/shear wall above (must stack over wall below)

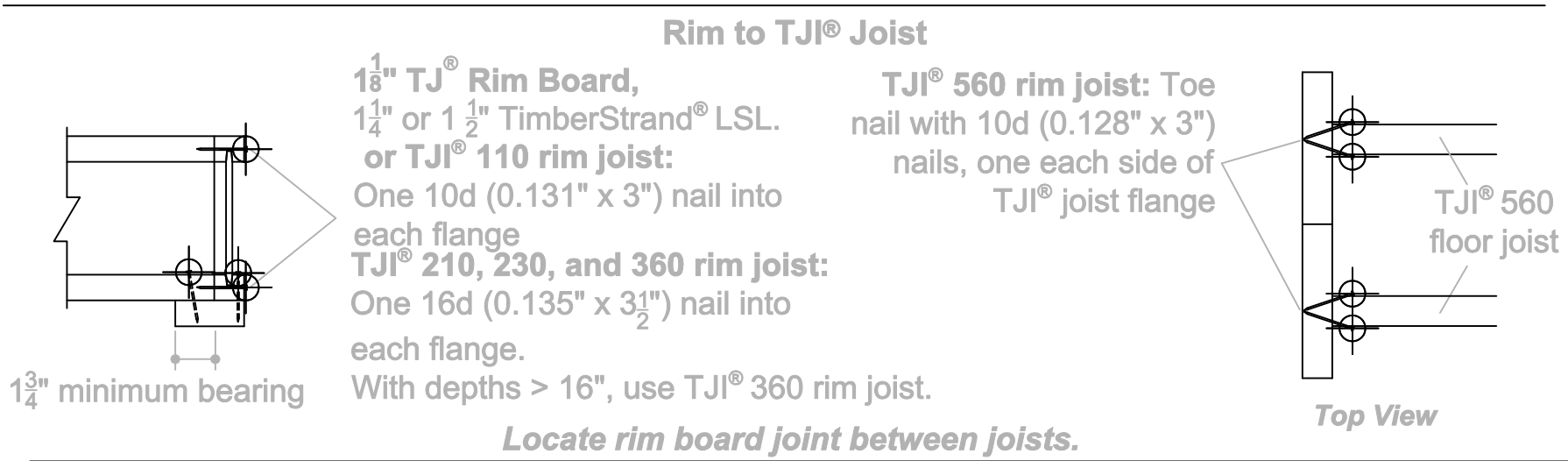


B1 B1W

Web stiffeners required on both sides at B1W and B2W ONLY

B2 B2W

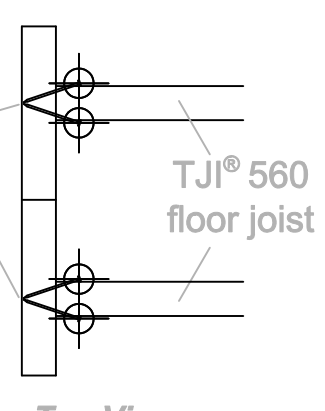
Blocking panels may be required with braced/shear walls above or below — see detail B1



Rim to TJI® Joist

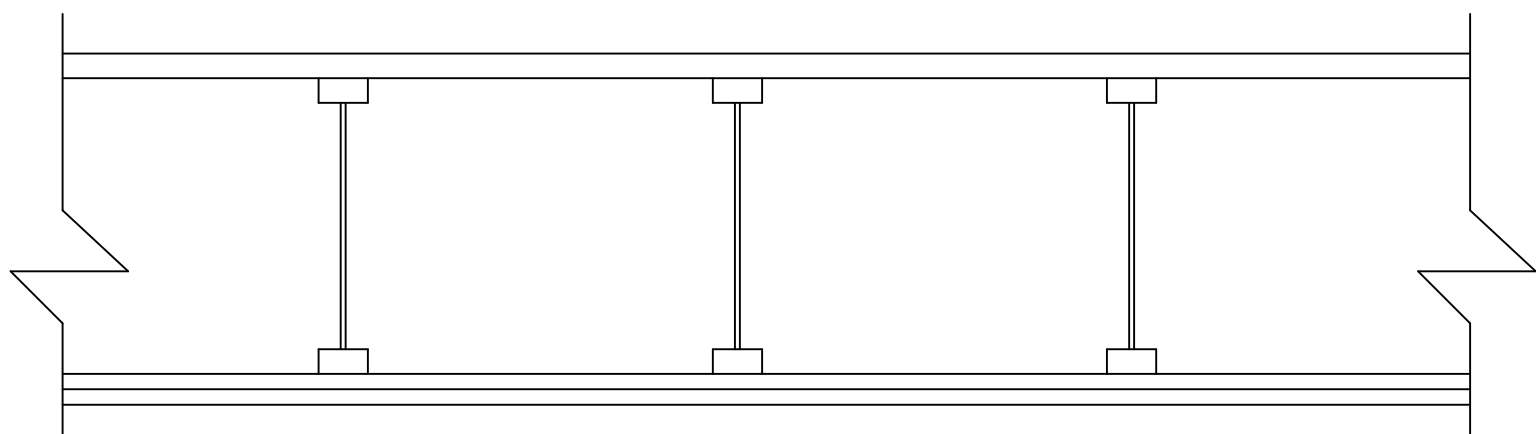
1 1/2" TJ® Rim Board, 1 1/2" or 1 1/2" TimberStrand® LSL. or TJI® 110 rim joist: One 10d (0.131" x 3") nail into each flange. TJI® 210, 230, and 360 rim joist: One 16d (0.135" x 3 1/2") nail into each flange. With depths > 16", use TJI® 360 rim joist.

TJI® 560 rim joist: Toe nail with 10d (0.128" x 3") nails, one each side of TJI® joist flange



Top View

Locate rim board joint between joists.



BASE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO WOOD I-JOISTS 24" O.C. WITH 1-1/4" TYPE W OR S DRYWALL SCREWS 24" O.C.

FACE LAYER 5/8" APPLIED AT RIGHT ANGLES TO I-JOISTS WITH 1-1/8" TYPE G DRYWALL SCREWS 12" O.C. AND INTERMEDIATE I-JOISTS AND 1-1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM BASE LAYER JOINTS. WOOD I-JOISTS SUPPORTING 5" WOOD STRUCTURAL PANELS APPLIED AT RIGHT ANGLES TO JOIST WITH 8D NAILS

3 FLOOR-CEILING GA FILE FC 5407 ASSEMBLY

SCALE: N.T.S.

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REVISIONS:

NO.	DATE	REMARKS
2	1/26/23	OWNER CHANGES
1	3/09/2023	SHORTENED BUILDING TO 32'
DRAIN		
CHECKED RPY		
DATE 3/07/2022		
SCALE AS SHOWN		
PROJECT NO.		

ROBERT P. MUSGNUG NJ AI 12612

KLINE RESIDENCE
1108 LONG BEACH BLVD
BLOCK 81, LOT 802
SHIP BOTTOM, NJ

DETAILS
& NOTES

A-8