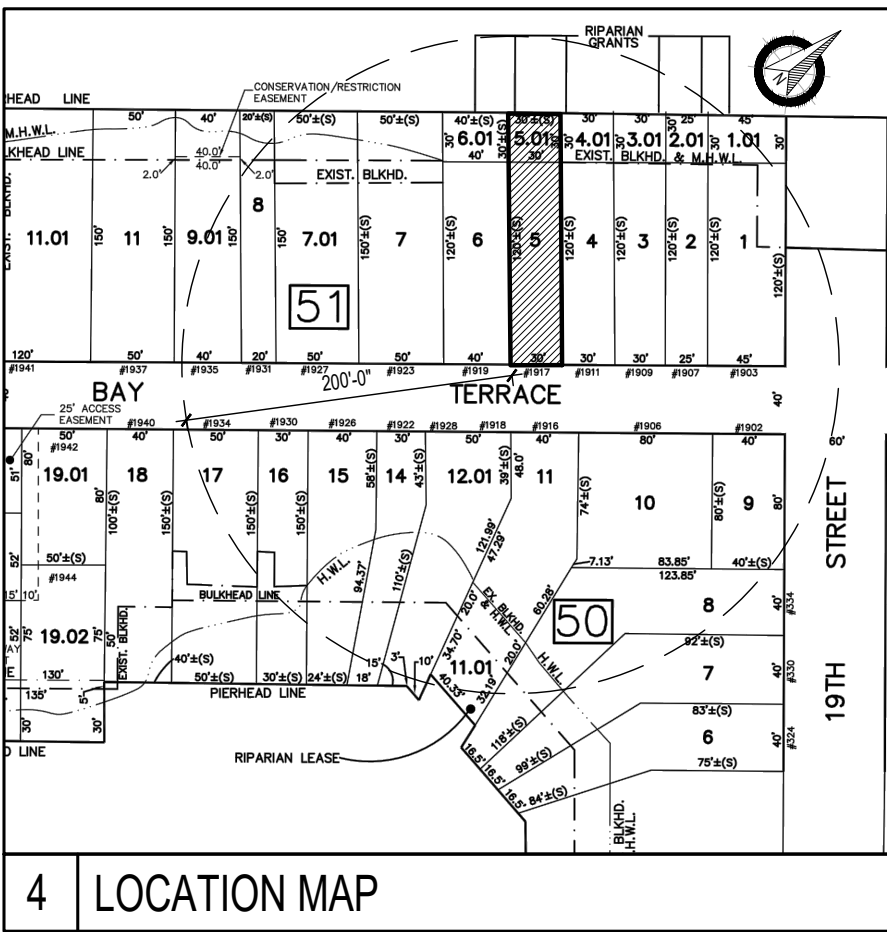
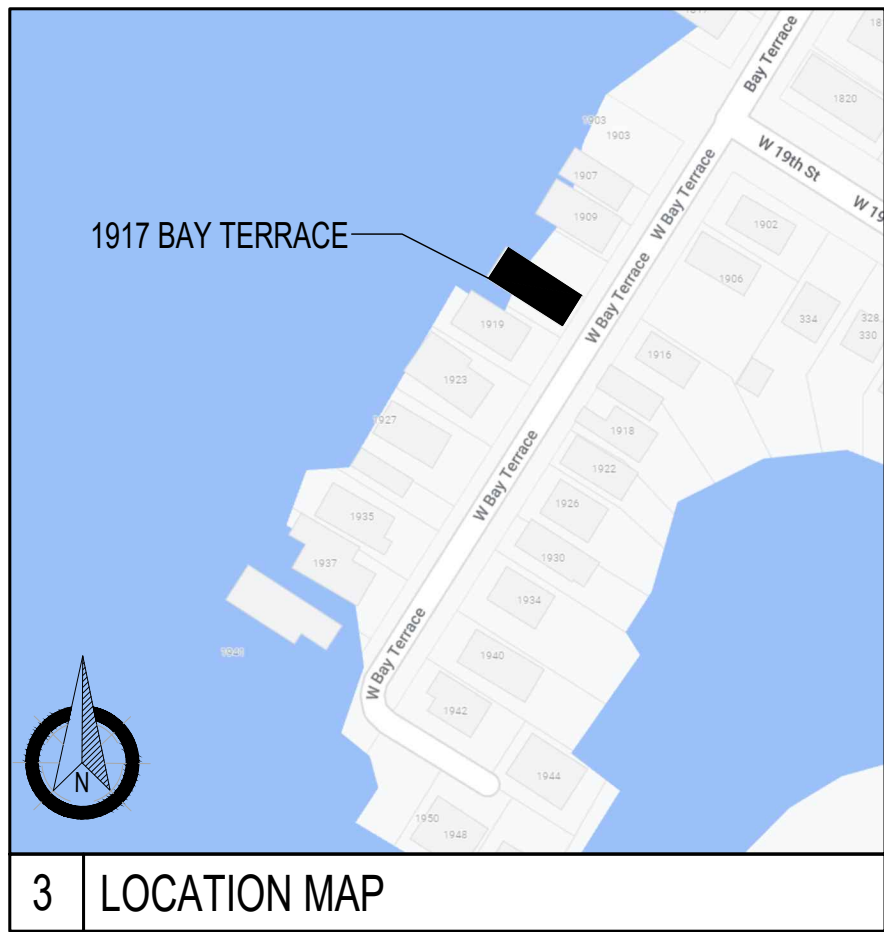


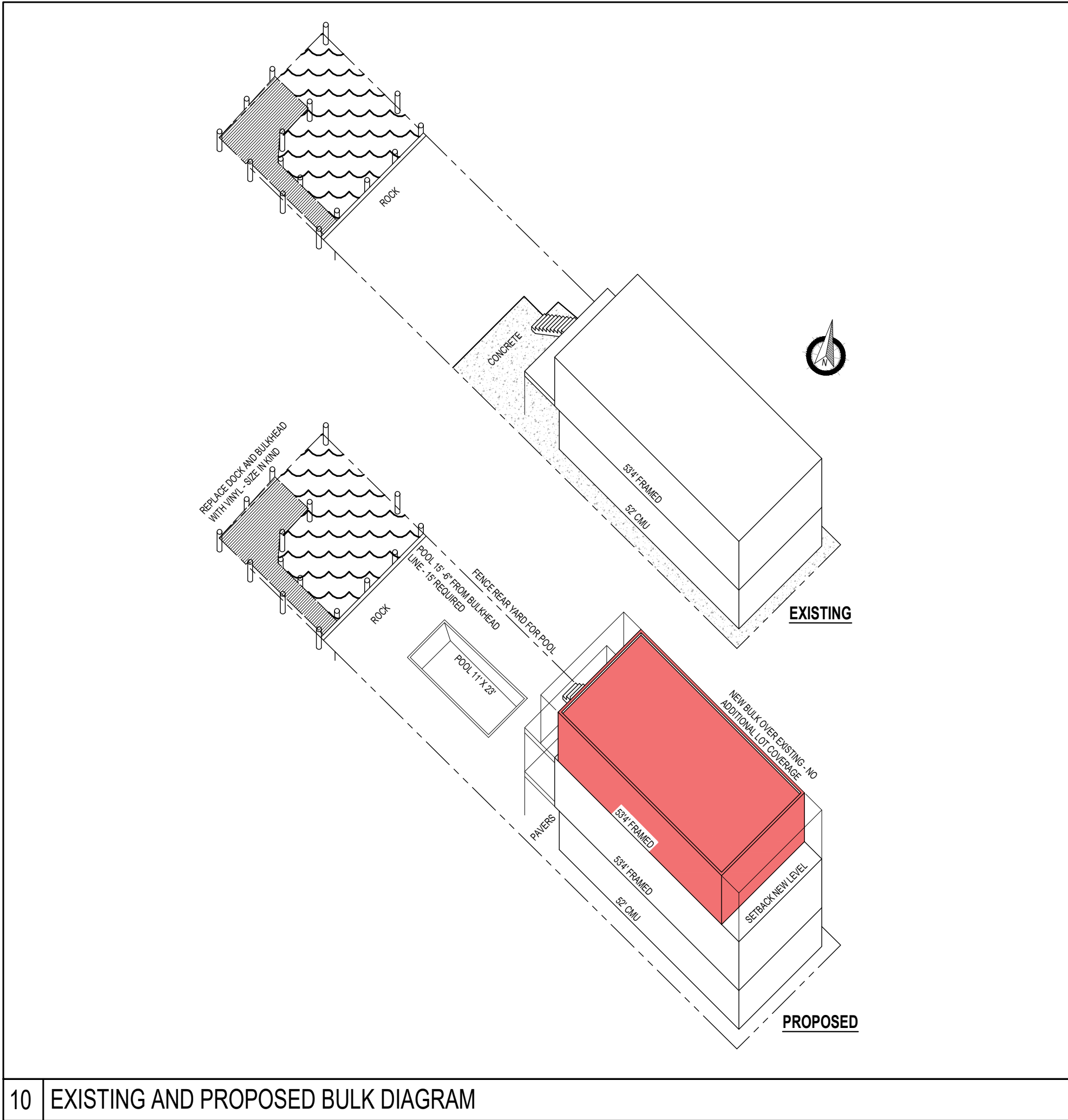
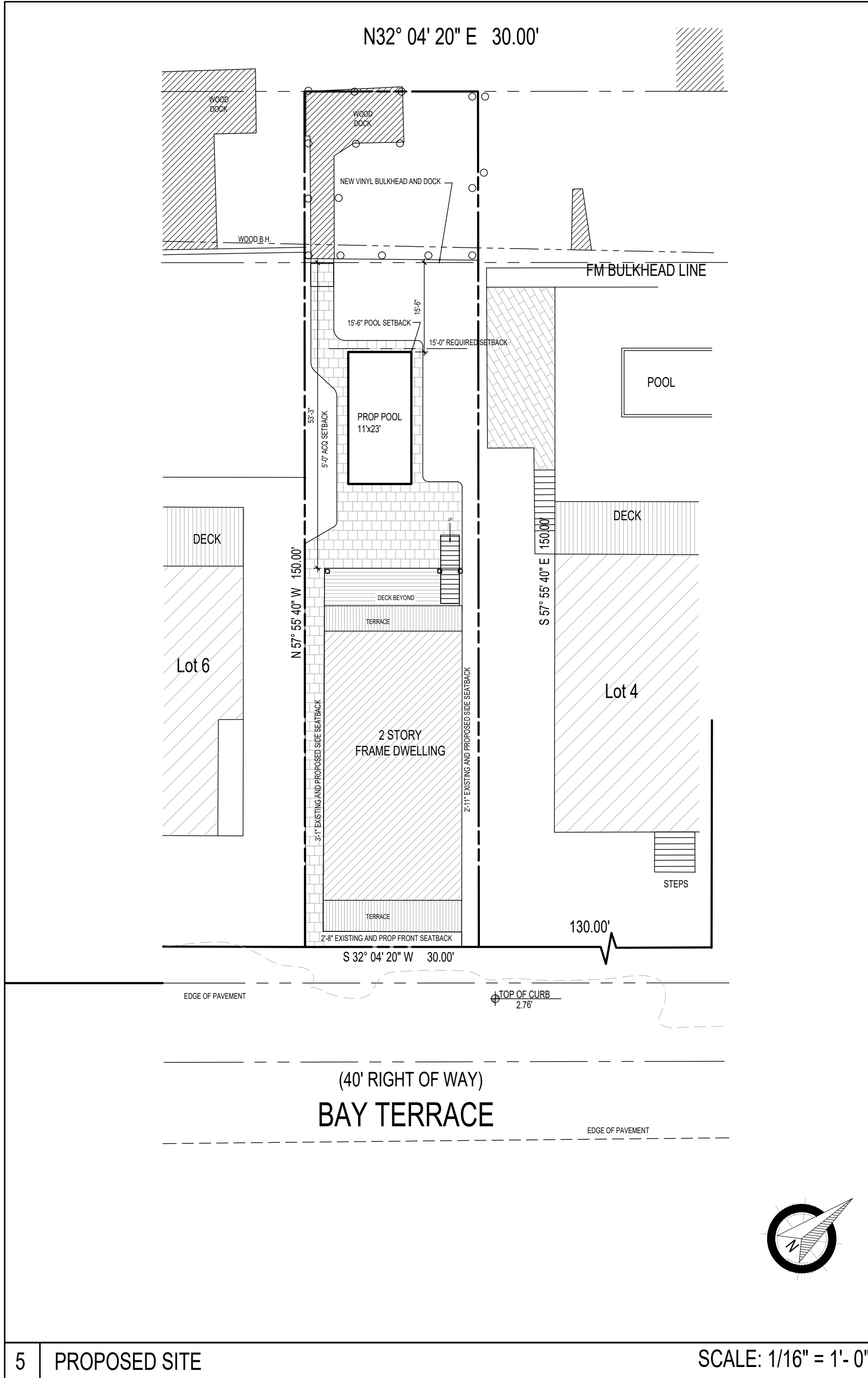
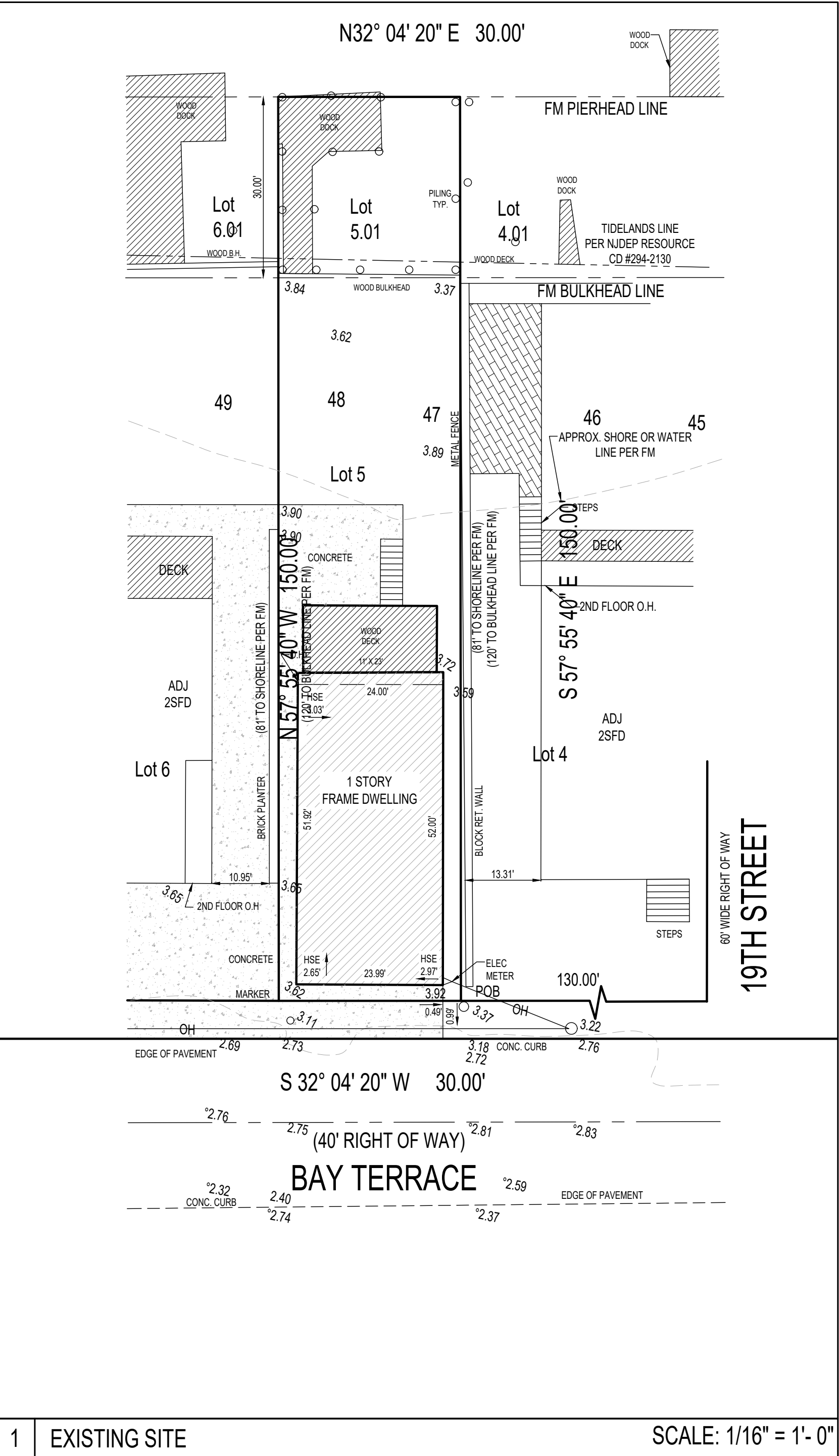
PROPOSED RENNOVATION OF EXISTING DUPLEX INTO
SINGLE FAMILY RESIDENCE

1917 WEST BAY TERRACE
SHIP BOTTOM, NEW JERSEY 08008

ZONING INFORMATION		LOCATION	
BUILDING ZONE:	R-2 SINGLE FAMILY RESIDENTIAL	ADDRESS :	1917 BAY TERRACE
FLOOR HAZARD ZONE:	AE	TOWNSHIP :	SHIP BOTTOM
BASE FLOOD ELEV:	8.00' A.S.L	BLOCK :	51
ELEVATION FIRST F.F:	17.3' A.S.L	LOT :	5
TOP OF CURB:	4' A.S.L		
1	ZONING INFO	2	LOCATION INFO



	ZONING REQUIREMENTS	EXISTING CONDITION	PROPOSED	NOTES
LOT SIZE (LAND ONLY): LOT FRONTAGE: LOT WIDTH: LOT DEPTH:	4000 SQFT MINIMUM 40' MIN 40' MIN 100' MIN	3600 SQFT 30' 30' 120' - 150' W/ WATER	3600 SQFT 30' 30' 120' - 150' W/ WATER	NO CHANGE NO CHANGE NO CHANGE NO CHANGE
FRONT YARD: REAR YARD: SIDE YARD:	15' MIN 20' MIN 15' MIN (COMBINED)	2'-6" 46'-2" 6'-0" (COMBINED)	2'-6" 46'-2" 6'-0" (COMBINED)	NO CHANGE NO CHANGE NO CHANGE
HEIGHT:	24'-0"	22'-1"	29'-3" (W/ SEC 16.68.66)	REQUEST
BUILDING COVERAGE: COVERAGE WITH POOL:	35% MAX 50% MAX	42.9% (1546SQFT) NA	42.8% (1540SQFT) 49.8% (1793SQFT)	NO INCREASE COMPLIANT
IMPERVIOUS LOT COVERAGE:	75% MAX	58% (2091SQFT)	72.7% (2620SQFT)	COMPLIANT
PARKING SPACES:	2 PER UNIT	1 PER UNIT	2 PER UNIT	IMPROVED
WE WILL COMPLY WITH ORDINANCE - "FILLING OF LOTS" SEC 16.68.66 A. NO BUILDING PERMITS SHALL BE ISSUED FOR NEW CONSTRUCTION ON ANY LANDS WEST OF LONG BEACH BOULEVARD UNLESS SAID LAND IS RAISED 20 INCHES ABOVE THE CENTERLINE ROAD GRADE, AT THE MIDPOINT OF THE LOT, FOR LOTS FRONTING THE BAY OR LAGOON; AND 16 INCHES ABOVE THE CENTERLINE ROAD GRADE, AT THE MIDPOINT OF THE LOT, FOR INTERIOR LOTS. IF ANY LAND REFERRED TO HEREIN DOES NOT FRONT ON AN IMPROVED MUNICIPAL STREET, THEN THE REFERENCE POINT FOR LOT ELEVATION PURPOSES SHALL BE TAKEN FROM THE NEAREST MUNICIPAL IMPROVED STREET TO SAID LAND AS DETERMINED BY THE MUNICIPAL ENGINEER. ALL APPLICATIONS FOR A BUILDING PERMIT SHALL INCLUDE A PLOT PLAN SHOWING THE EXISTING AND PROPOSED GRADES IN CONFORMANCE WITH THIS SUBSECTION. THE USE OF RETAINING WALLS WILL BE PERMITTED IN ORDER TO CONTAIN THE FILL.				
9	ZONING REQUIREMENTS			



COLSTON RESIDENCE

1917 WEST BAY TERRACE
SHIP BOTTOM, NEW JERSEY, 08008

PROPOSED RENOVATION
VARIANCE PLAN

Gregory Colston Architect

GREGORY COLSTON ARCHITECT

208 W 16TH STREET
SHIP BOTTOM, NEW JERSEY 08008

PHONE: O 212-804-6279 - C 917-776-5899
E-mail: greg@colston.com website: gcolston.com

ISSUE FOR
VARIANCE

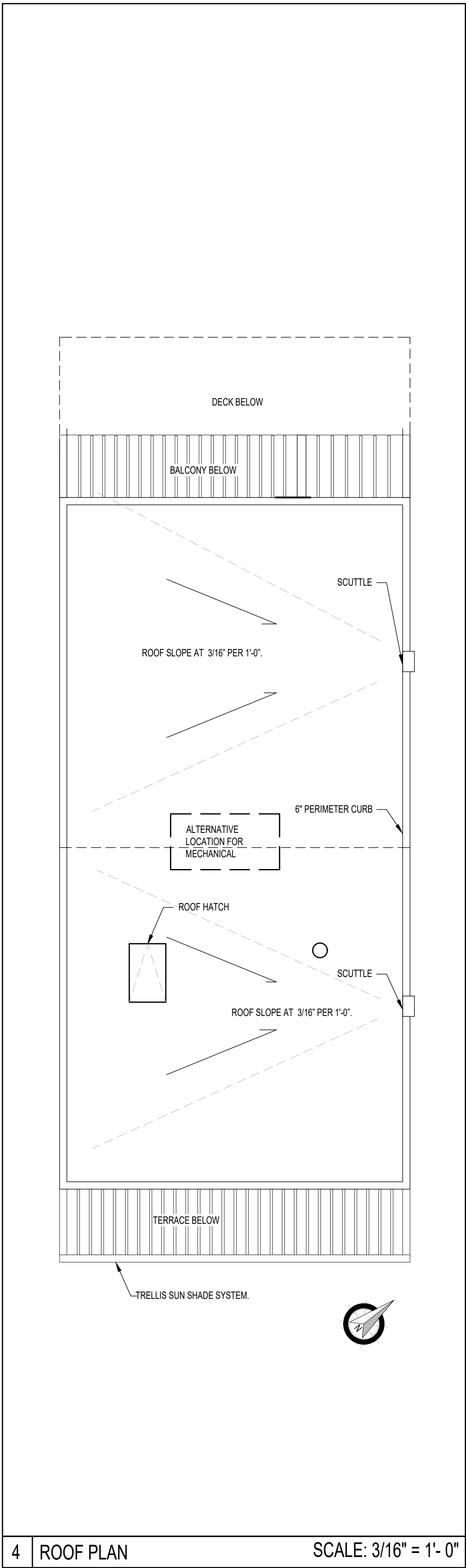
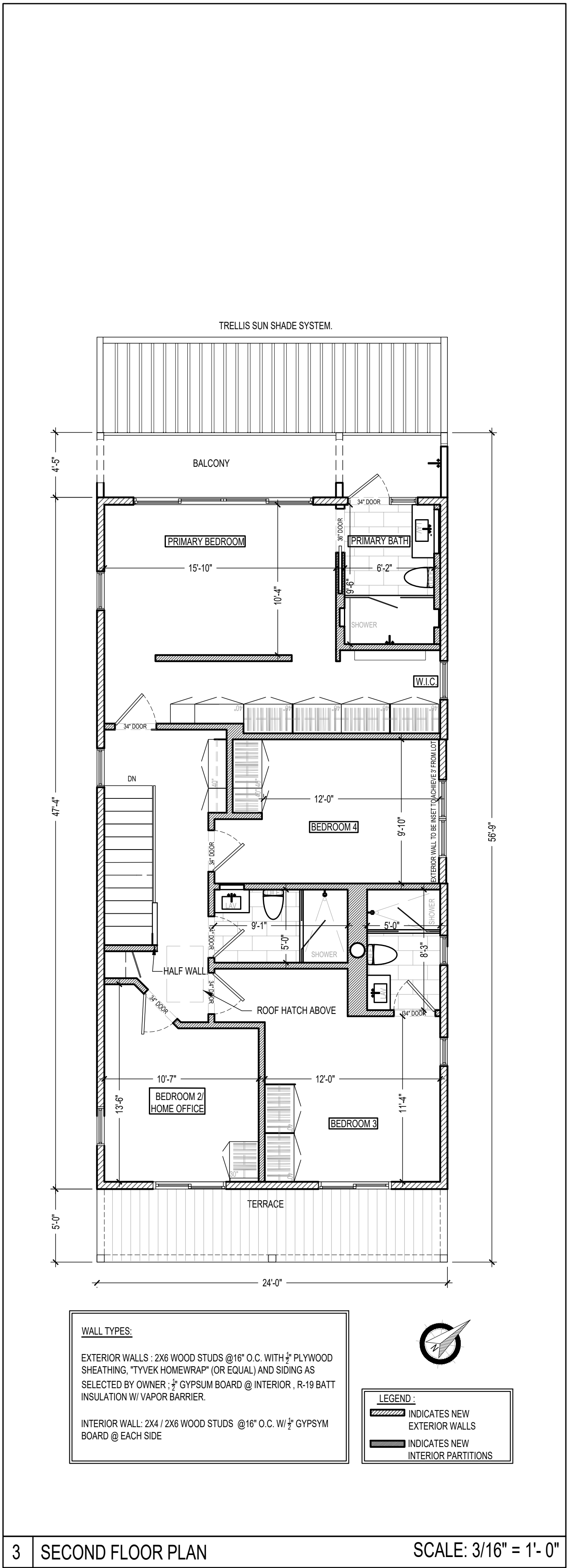
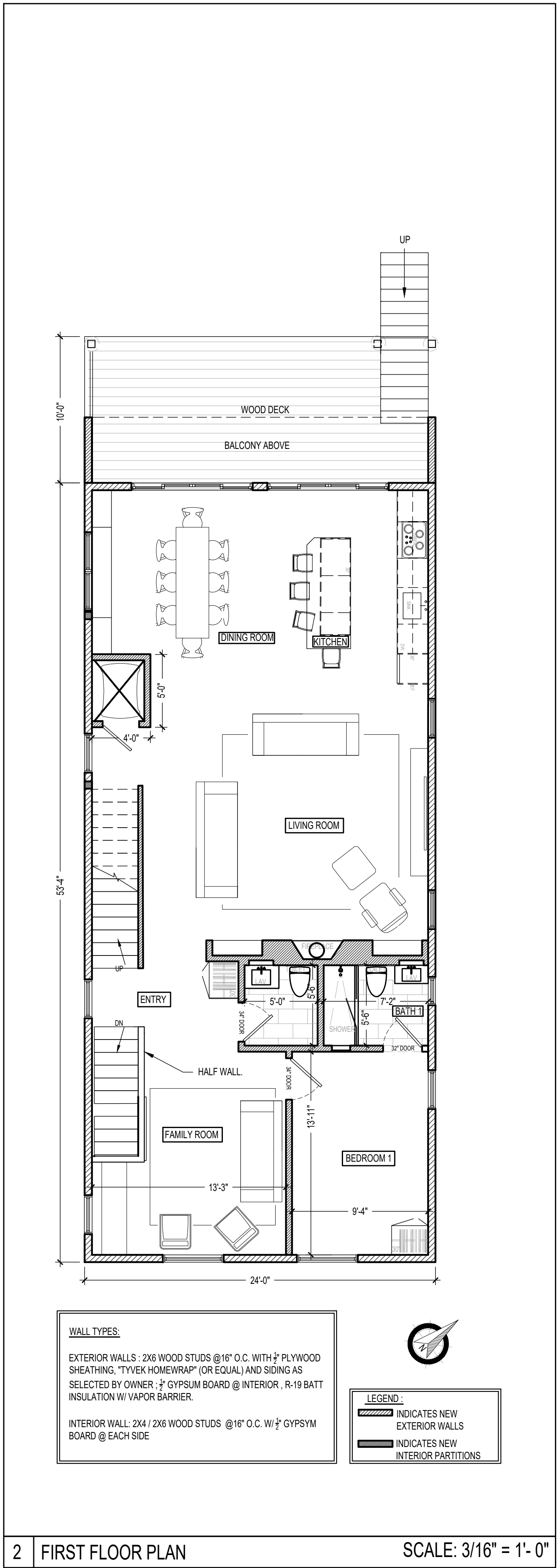
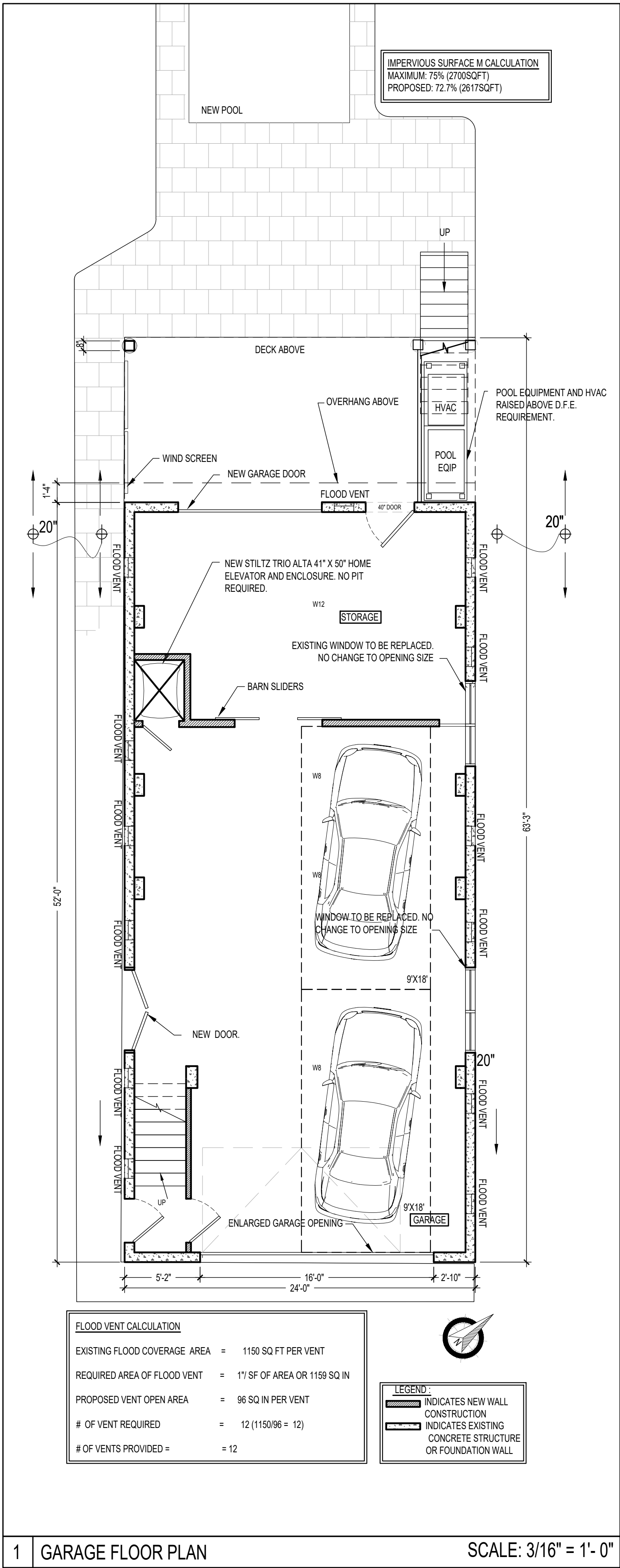
*NOT FOR CONSTRUCTION

STATE OF NEW JERSEY
GREGORY L. COLSTON
REGISTERED ARCHITECT
19371

DATE: 01-19-2023
SCALE: 1/4" = 1'-0" (or as noted)
DRAWN BY: ES, GLC, IC
CHK BY: GLC
DWG #:

A-001

1 OF 3



COLSTON RESIDENCE
1917 WEST BAY TERRACE
SHIP BOTTOM, NEW JERSEY, 08008

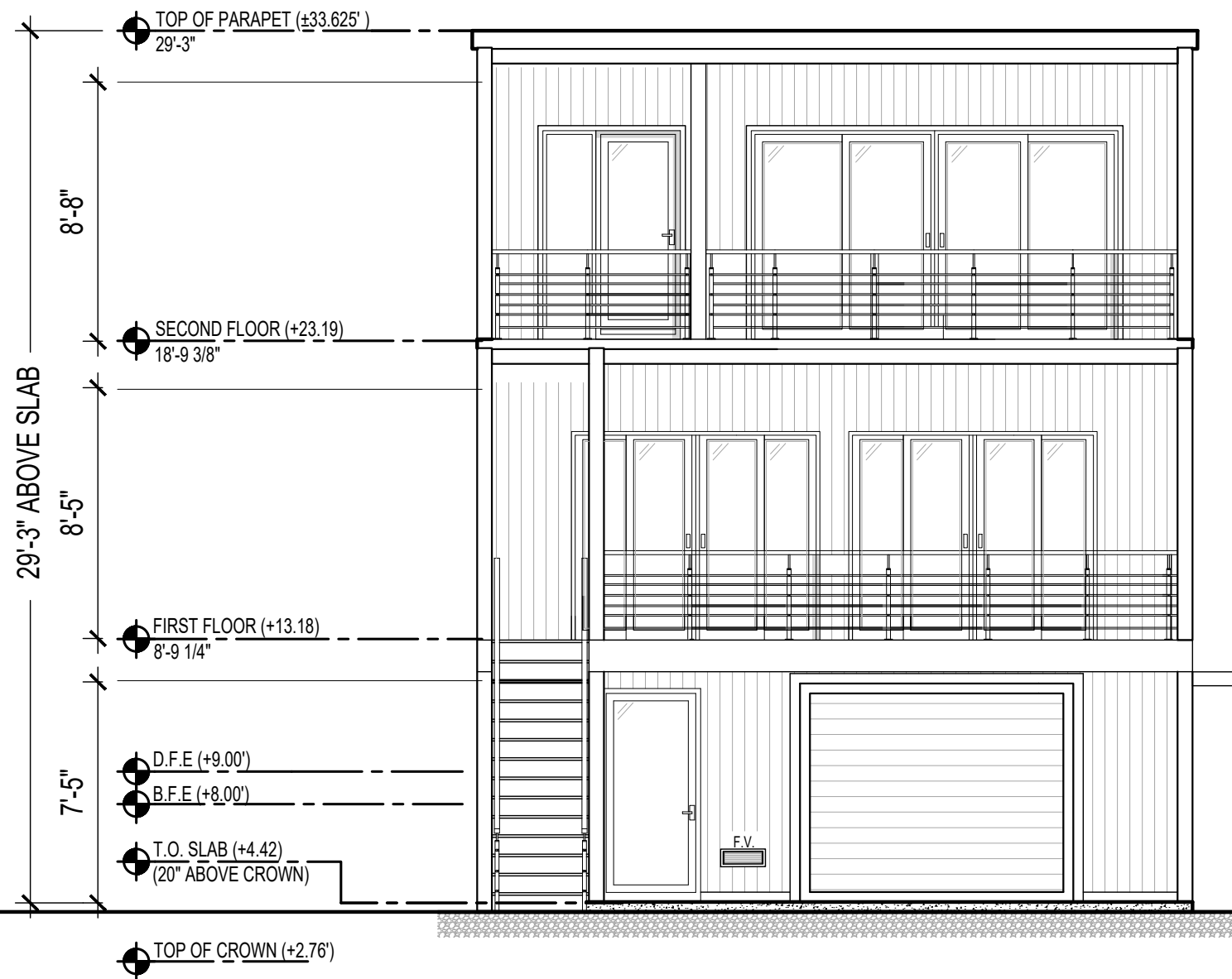
**PROPOSED RENOVATION
CONSTRUCTION PLAN**

Gregory Colston Architect
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SHIP BOTTOM, NEW JERSEY 08008
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**ISSUE FOR
VARIANCE**

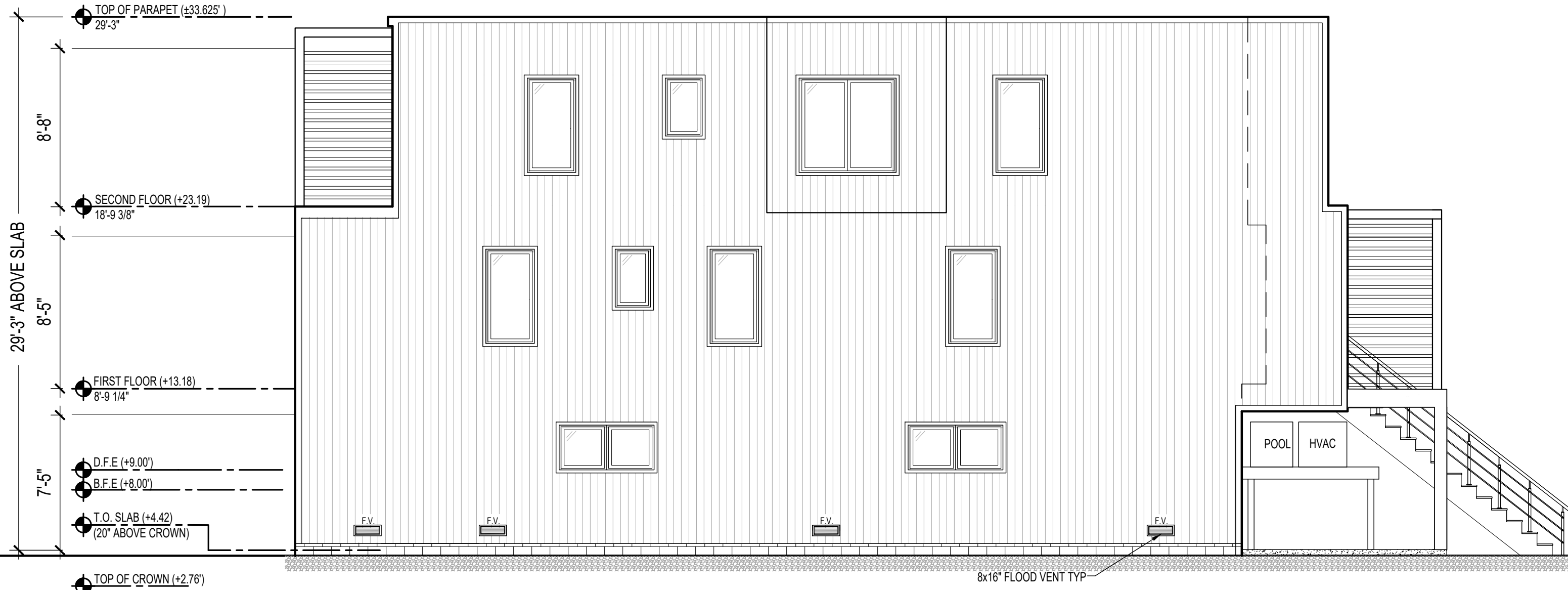
***NOT FOR CONSTRUCTION**

DATE: 01-19-2023
SCALE: 1/4" = 1'-0" (or as noted)
DRAWN BY: ES, GLC/IC
CHK BY: GLC
DWG #: **A-002**
2 OF 3



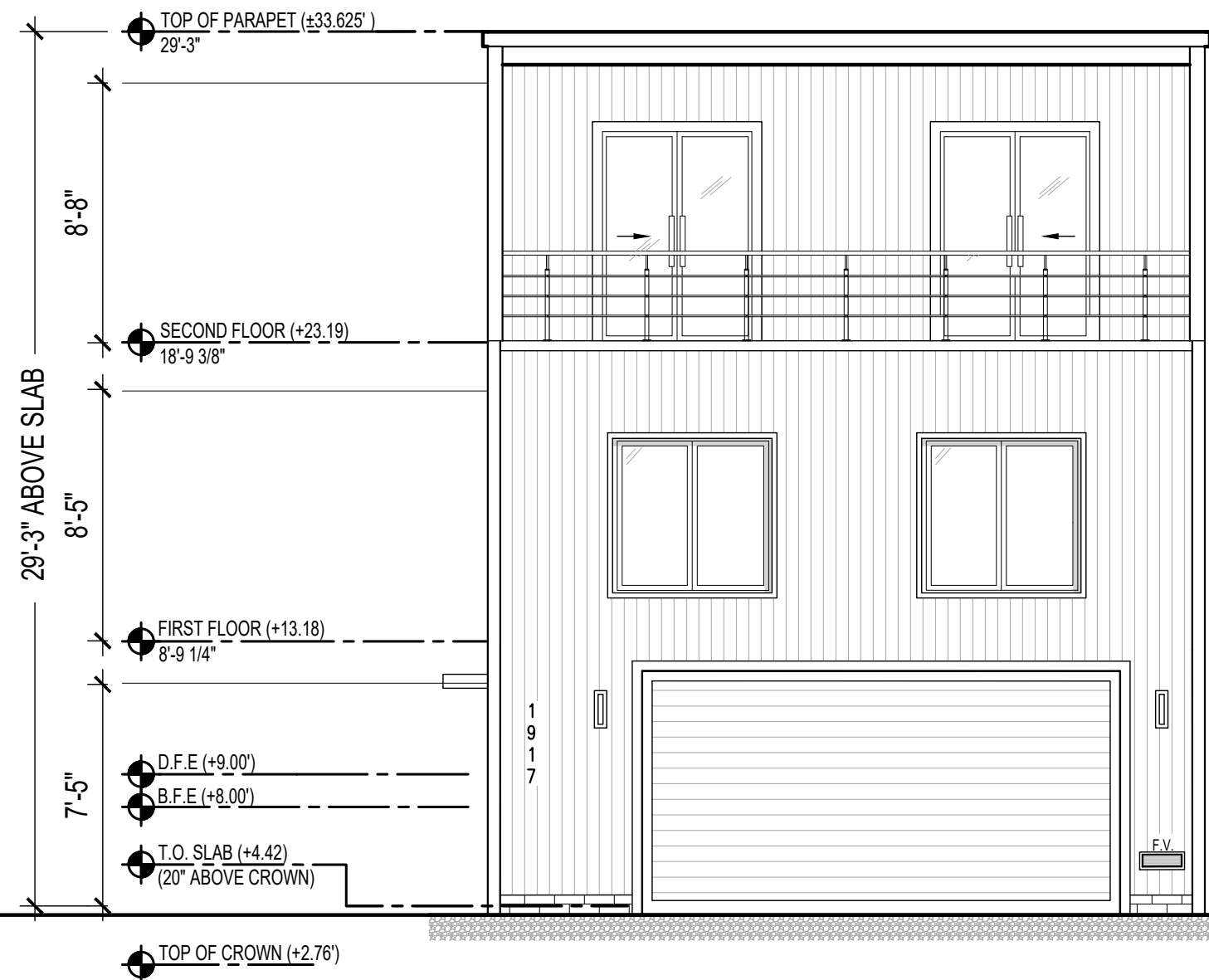
1 WEST ELEVATION (REAR)

SCALE: 3/16" = 1'- 0"



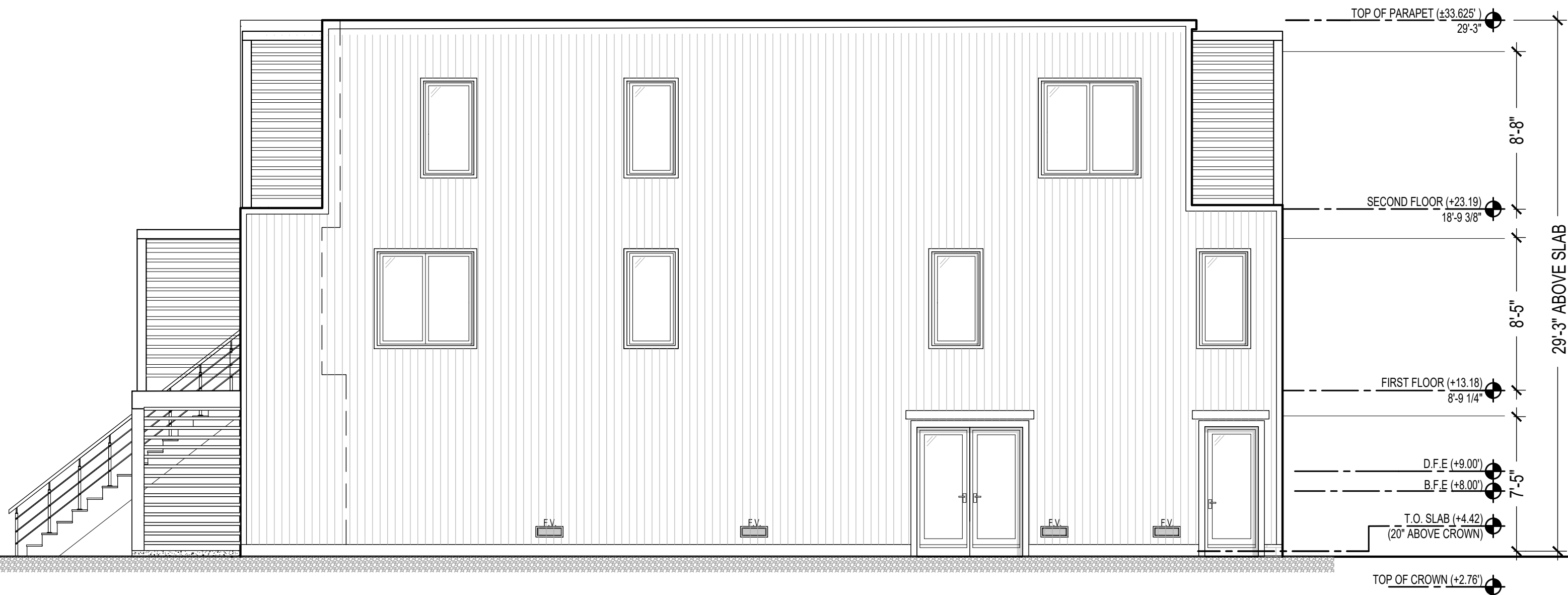
2 NORTH ELEVATION (RIGHT)

SCALE: 3/16" = 1'- 0"



3 EAST ELEVATION (FRONT)

SCALE: 3/16" = 1'- 0"



4 SOUTH ELEVATION (LEFT)

SCALE: 3/16" = 1'- 0"

COLSTON RESIDENCE
1917 WEST BAY TERRACE
SHIP BOTTOM, NEW JERSEY, 08008

PROPOSED RENOVATION
ELEVATIONS

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ISSUE FOR
VARIANCE



DATE: 01-19-2023
SCALE: 1/4" = 1'-0" (or as noted)
DRAWN BY: ES, GLC, IC
CHK BY: GLC
DWG #:

A-003

3 OF 3

*NOT FOR CONSTRUCTION